



HERITAGE PRESERVATION COMMISSION AGENDA

PUBLIC MEETING ROOM

WEDNESDAY, SEPTEMBER 20,
2023

6:00 PM

1. Call to Order
2. Approval of the Minutes
3. General Heritage Preservation Items
 - A. Citizen Comment Period
4. Design Reviews
 - A. Alexander Faribault House Repairs
5. Items for Discussion
 - A. Verbal Update on Engagement
6. Adjournment



Request for Action

TO: Faribault Heritage Preservation
Commission

FROM: Mathias Hughey, Community Development
Coordinator

THROUGH:

MEETING DATE: September 20, 2023

SUBJECT: Alexander Faribault House Repairs

BACKGROUND:

The Rice County Historical Society owns the Alexander Faribault House, located at the house at 12 1st Ave NE. The building contains a museum and living quarters for the caretaker and their family. The Historical Society has completed a significant amount of work on the house. However, the front porch and the rear/side porch both require substantial rehabilitation and repair, which will include replacing existing wood with wood treated to resist rotting. The building plans indicate that the repairs will not substantially alter the style or appearance of the structures, and the rear access will be updated with an ADA-accessible ramp.

Attached is the RFP file the Historical Society has released identifying the scope of work. Page 2 of the attached RFP file clearly lists the work, separated between the front porch (East Porch) and the side porch (South Porch).

REQUESTED ACTION:

Hold a voice vote on the Certificate of appropriateness for the repairs to the Alexander Faribault House porches and entry.

ATTACHMENTS:

1. Faribault HPC Design Review Application
2. AFH Packet & RFP Letter



DESIGN REVIEW APPLICATION FORM

Heritage Preservation Commission

APPLICANT INFORMATION

Site Address: 12 1st Ave NE, Faribault, MN 55021

Owner/Applicant: Rice County Historical Society

Mailing Address: 1814 2nd Ave NW

City/State: Faribault, MN

Phone Number:

Site File Number:

Work Site Address:

TYPE OF WORK

☒ Restoration

☐ Demolition

☒ New Construction

☐ Remodeling

☐ Site Improvements

SCOPE OF WORK

Brief Project Description: We will be remove the existing South and East porches from the roofline down and replacing them with a new construction. These new porches will match the existing design, profile, dimensions, and color as to comply with the Secretary of the Interior's Standards for historic properties.

ATTACHMENTS

☒ Historical Data / Site File Information

☒ Detailed Drawings of Proposed Modifications

☐ Manufacturers Specifications

☐ Photographs

☐ Site Plan

☐ Material Samples / Color Samples

ACTION OF HPC BOARD

Meeting Date:

Action Taken:

CERTIFICATE OF APPROPRIATENESS

☐ Issued

☐ Denied

NOTE

If this project is submitted as part of the City's SCDP rehabilitation program, it must receive a "no adverse effect" ruling from The State Historic Preservation Office.





RICE COUNTY HISTORICAL SOCIETY

1814 NW Second Ave. ♦ Faribault, MN 55021 ♦ 507-332-2121

The Rice County Historical Society (RCHS) seeks estimates for the proposed project “Alexander Faribault House Porches Replacement and Handicap Accessible Ramp Creation”, hereafter AFH Porch Project. RCHS is a tax exempt, 501©3 organization (EIN #41-1432857). Repairs and upgrades to the house must conform to Secretary of Interior Standards for conducting repairs and upgrades to a historic property. The Alexander Faribault House is on the National Register of Historic Places (NRHP Reference #70000309).

Companies and or Individuals who submit estimates are not necessarily guaranteed the contract. RCHS will select from submitted estimates, the estimate which RCHS believes is in the best interest of the organization. Estimates are to be submitted by 5pm on September 1. Estimates can be submitted through email to rchs@rchistory.org or be delivering them to the RCHS offices at 1814 2nd Ave NW, Faribault, MN 55021.

Final decisions and awards of the contract will be announced by 5pm on September 11, 2023 and any contract is contingent on an approve Certificate of Appropriateness from the Faribault Historic Preservation Committee, and the Faribault Housing and Redevelopment Agency’s funding support.

For additional questions feel free to contact David Nichols, Executive Director, Rice County Historical Society, at 507-332-2121 or via email at director@rchistory.org.

Alexander Faribault House Porches Replacement Scope of Work

East Porch

(Main Public Entrance)

SoW#1: Scrape off and sand down all loose or peeling paint down to bare wood of floor decking. Lengths of floor boards that show signs of rot or decay shall be removed & replaced with new, clear fir T&G decking boards matching original profile & dimensions. Decking to be run East to West. **(Spec Drawing Code P2)**

SoW#2: Remove existing floor frame joists. Replace with new preservative-treated (PT) joists. Strengthen and reinforce floor joists framing and support as necessary with PT wood. **(Spec. Drawing Code: P2)**

SoW#3: Carefully remove skirt panels and transport to workshop; scrape off and sand down all existing loose or peeling paint down to bare wood. Members or elements of skirt paneling that are split, checked, or show signs of rot shall be replaced with new wood members matching original dimensions & profiles. **(Spec. Drawing Code: P3 & P8)**

SoW#4: Remove existing stair jacks, treads & risers; replace with new 2x preservative treated (PT) wood stair jacks, treads & risers. **(Spec. Drawing Code P4)**

SoW#5: All guard rails and posts are to be replaced with PT wood to match original dimensions and profiles. **(Spec. Drawing Code P5, P6 & P7)**

SoW#6: Prime and re-paint all wood deck, posts, guardrail & skirt panels per Spec. 09 91 00. Re-install skirt panels in original locations. Color code existing paint to match. **(Spec. Drawing Code P9)**

South Porch

(Caretaker Entrance/Handicap Accessible Entrance)

SoW#1: Remove existing floor decking and floor framing joists. Replace with new, preservative-treated (PT) joists, then lay new, clear fir T&G decking boards matching original profile to provide new accessible ramp per New Plan 2/ A11. **(Spec Drawing Code P1, See Drawing A11)**

SoW#2: Replace existing posts with new PT wood posts matching original profile and dimensions. **(Spec. Drawing Code P5 & P6)**

SoW#3: Prime and re-paint all wood deck and posts per Spec. 09 91 00. Color code existing paint to match. **(Spec. Drawing Code P9)**

SoW#4: back fill space below the floor joist framing and strengthen with PT supports as needed.

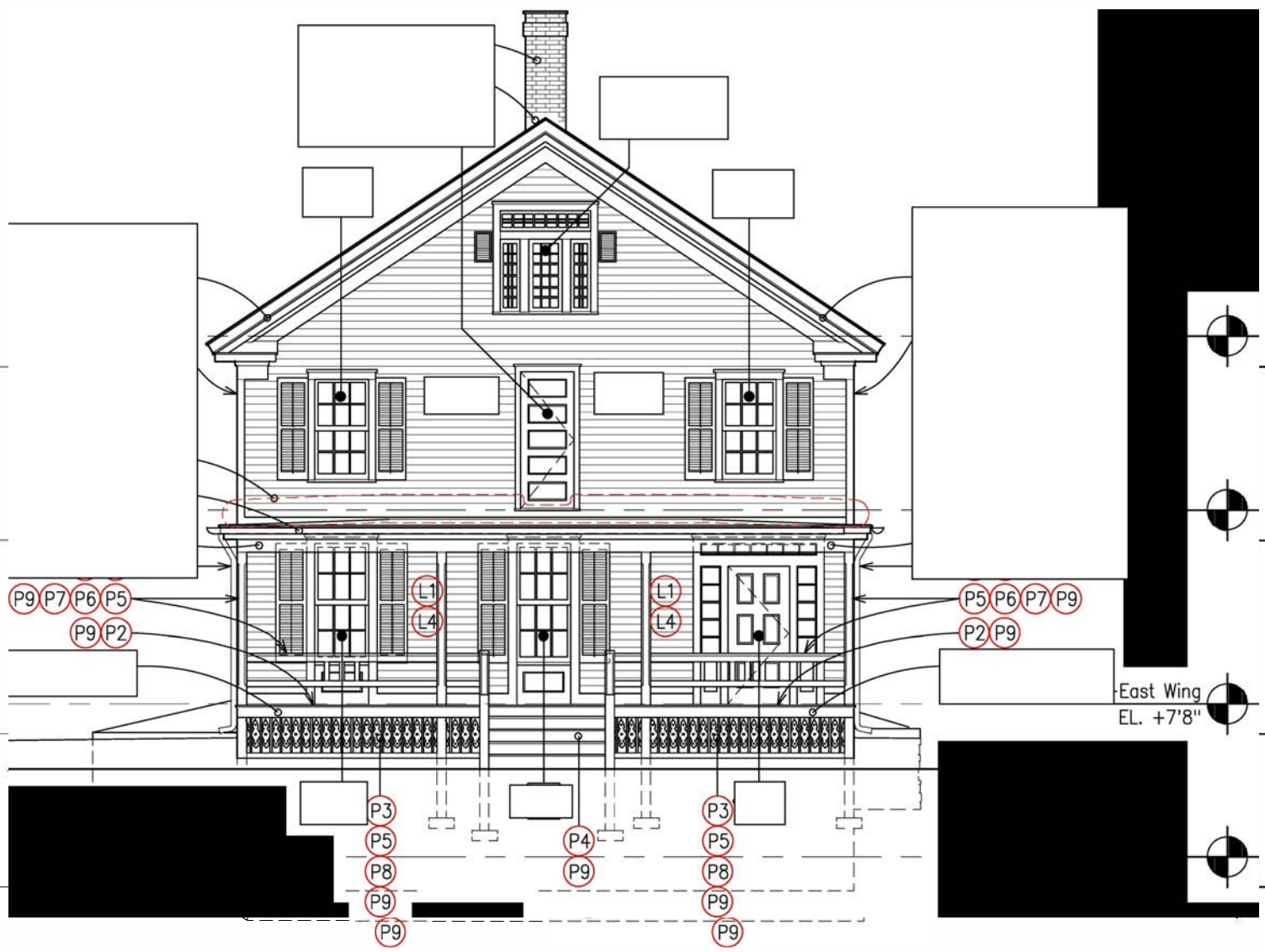
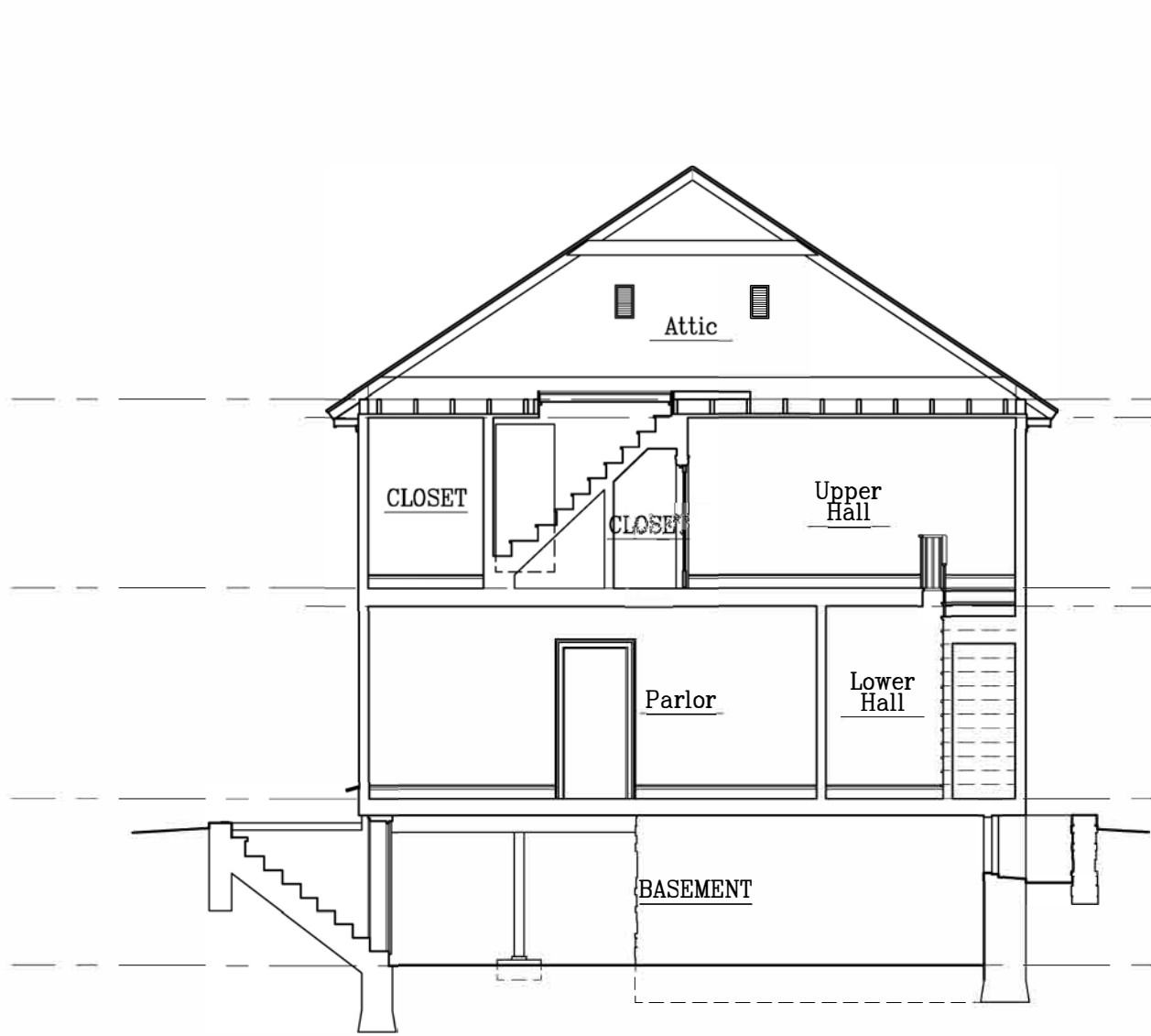
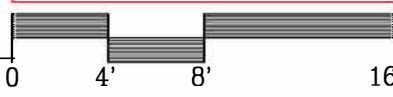
2

SECTION
SCALE: Graphic

1

EAST ELEVATION
SCALE: Graphic

SEE SHEET A31 FOR
GENERAL & KEY (**) NOTES





3

NORTH ELEVATION

SCALE: Graphic 0 4' 8' 16'

SEE SHEET A31 FOR
GENERAL & KEY (**) NOTES

S M S Q Architects | 205 South Water Street | Box 390 | Northfield, Minnesota 55057 | tel (507) 645 4461 fax (507) 645 7682

Alexander Faribault House

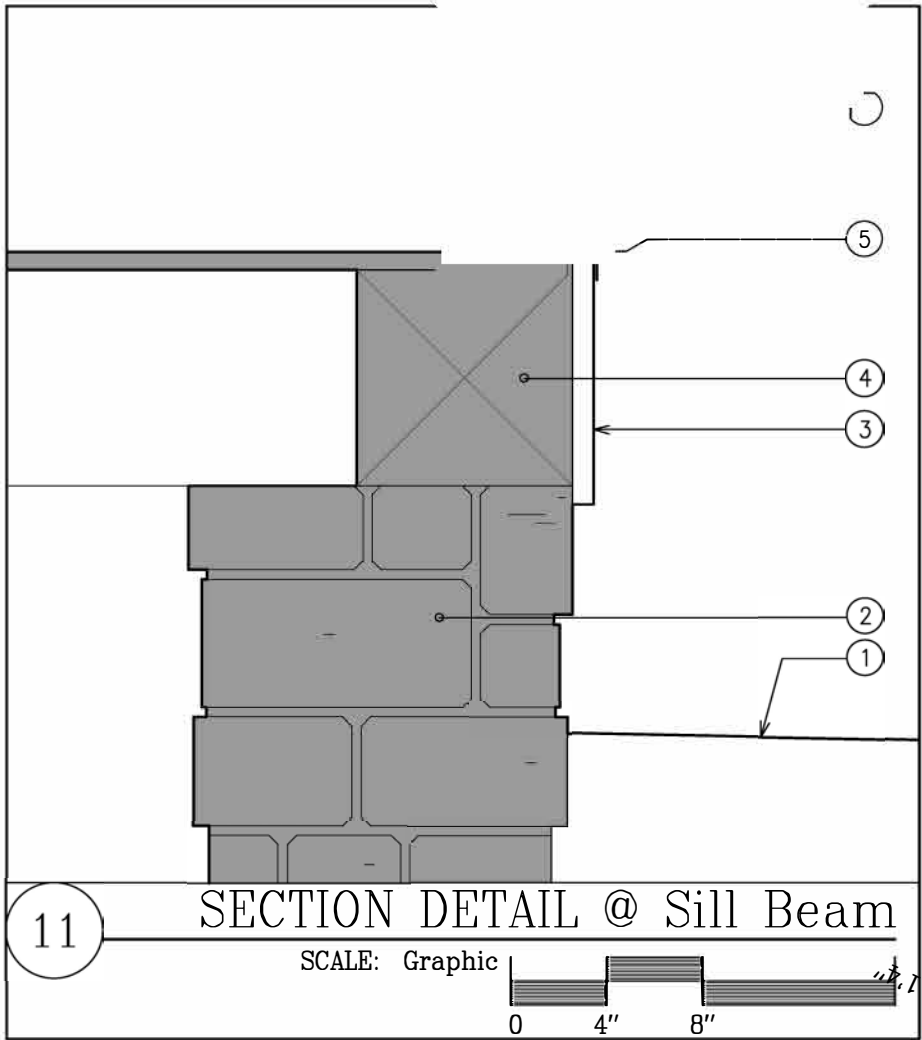
Preservation Project I

Faribault, Rice County, Minnesota

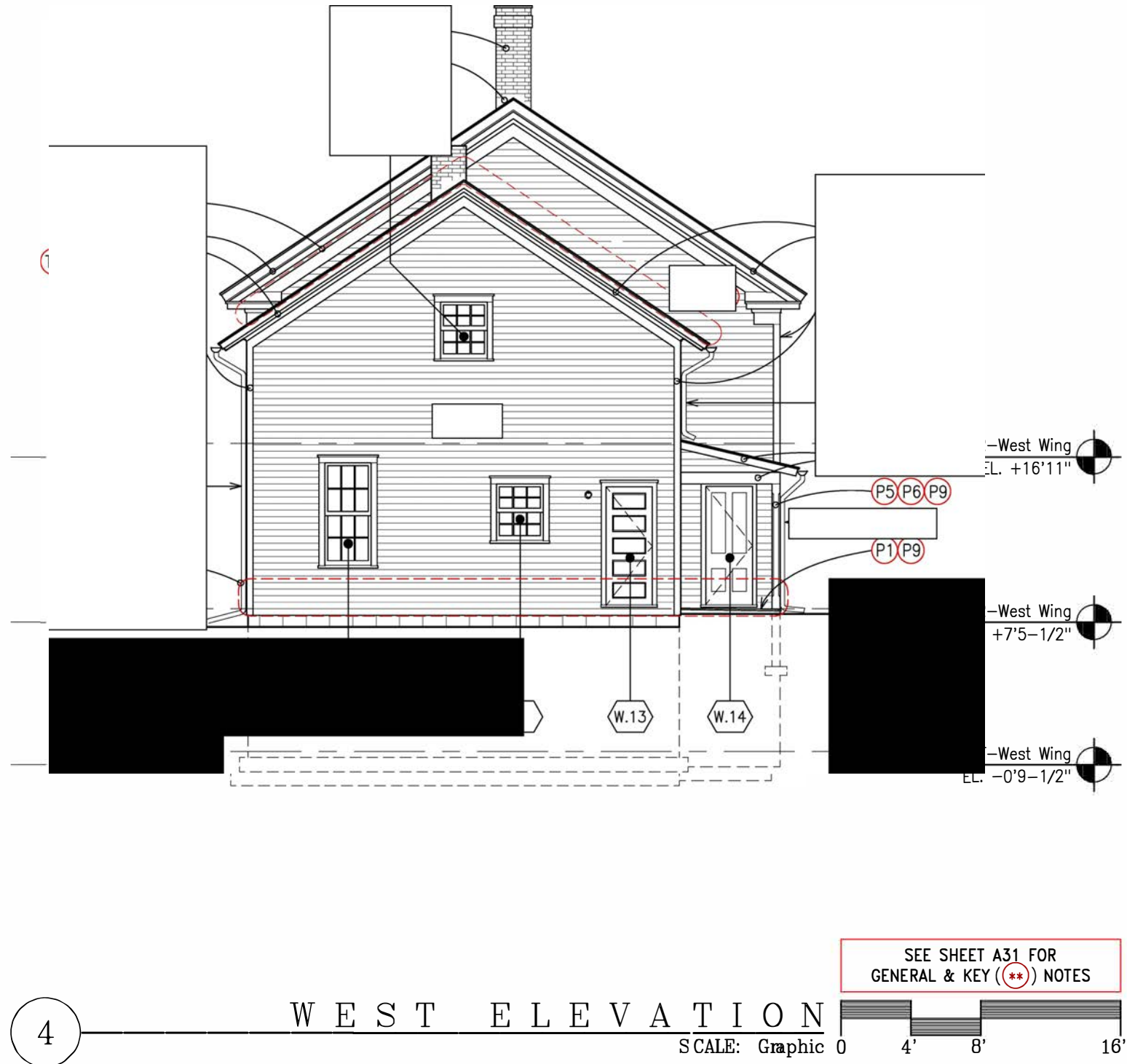
Drawing A22 of 17

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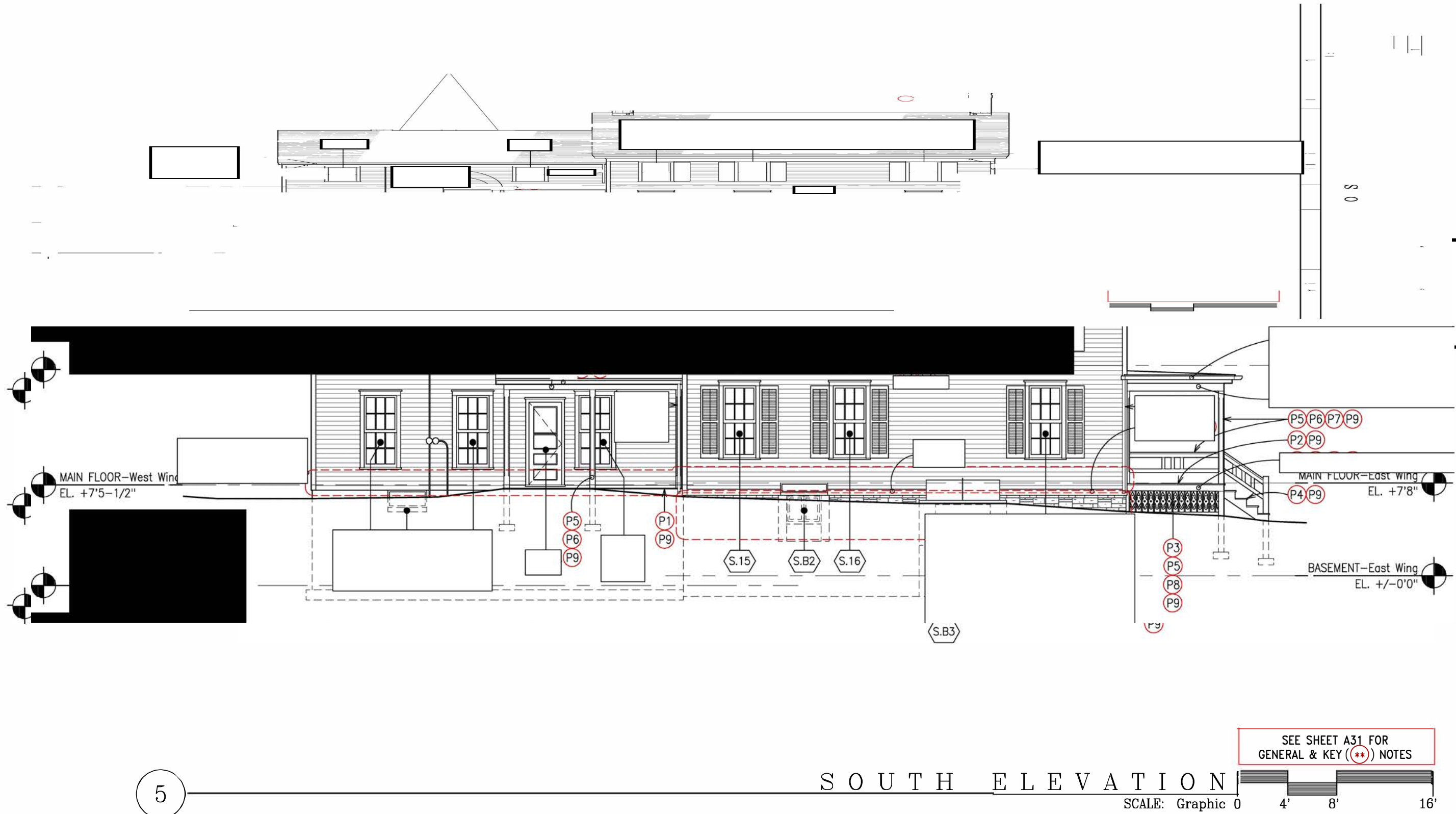




- NEW KEY NOTES (Sill Beam Detail) : (n)
- Existing grade (varies).
 - Existing stone foundation wall—see Keynote F1/A31.
 - Existing base trim—repair/replace per Keynotes T1–4/A31.
 - Existing sill beam: inspect & repair per Keynotes J2/A31.
 - New galvanized metal drip cap flashing.
 - Existing exterior wall.



5



S O U T H E L E V A T I O N

S M S Q Architects 205 South Water Street Box 390 Northfield, Minnesota 55057 tel (507) 645 4461 fax (507) 645 7682

Alexander Faribault House

Preservation Project I

Faribault, Rice County, Minnesota

Drawing A24 of 17

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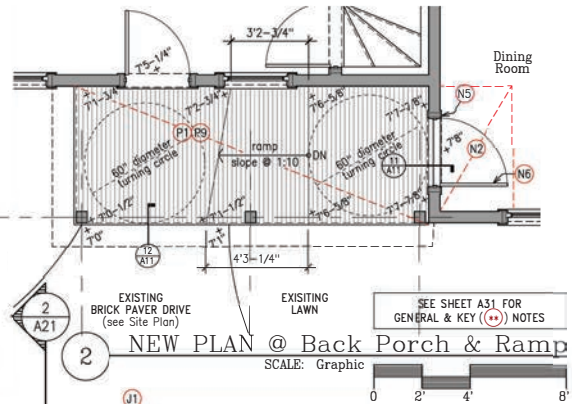


GENERAL NOTES :
C1. PAINT TESTING: Test existing exterior paint for lead content; implement abatement procedures as required.
C2. MASONRY REPAIR: All work must follow the Guidelines provided in Preservation Brief 2, "Repointing Mortar Joints in Historic Masonry Buildings."
C3. WINDOW REPAIR: All work must follow the Guidelines provided in Preservation Brief 9, "The Repair of Historic Wood Windows."
C4. WOOD SHINGLE ROOF REPLACEMENT: All work must follow the Guidelines provided in Preservation Brief 19, "The Repair and Replacement of Historic Wood Shingle Roofs."
KEY NOTES :
ROOF –
R1. Remove entire roof down to existing sheathing; replace with new cedar shingles over building paper. Provide ice & water shield @ eaves for min. distance of 24" up slope from exterior walls.
R2. Roof perimeter: Remove & replace all metal roof drip edge w/ new, galvanized metal drip edge.
GUTTERS & DOWNSPOUTS –
G1. Gutters: Scrape off and sand down all existing loose or peeling paint down to bare metal.
G2. Sections of gutter that are corroded or show signs of rust shall be replaced with new, galvanized steel gutter matching original profile & dimensions.
G3. Remove all remaining downspouts and replace with new, galvanized steel downspouts matching original profile & dimensions.
G4. Prime and re–paint all gutters & downspouts per Spec. 09 91 00.
WOOD FASCIA, EAVES & TRIM –
T1. Scrape off and sand down all existing loose or peeling paint down to bare wood.
T2. Wood trim, eave boards or fascia that are split, checked, or shows signs of rot shall be repaired with epoxy specially formulated for wood repair per Spec. 06 10 90.
T3. Lengths of wood trim, eave boards or fascia that are rotted through or decayed shall be replaced entirely with new trim matching existing dimensions.
T4. Prime and re–paint all wood roof edge fascia, eaves & trim per Spec. 09 91 00.
PERIMETER WOOD SILL BEAM –
J1. East wing: carefully remove exterior base trim board at North & South sides; reinstall base trim board after beam repairs are completed.
J2. Inspect sill beam from the inside @ all four sides, and from the outside @ North & South sides, to identify portions that are rotted. Cut out rotted portions and replace with preservative–treated lumber (see Struct.) to provide firm support for stud walls bearing on it.

KEY NOTES :
WOOD LAP SIDING –
L1. Scrape off and sand down all existing loose or peeling paint down to bare wood.
L2. Lap siding that is split, checked, or shows signs of rot shall be repaired with epoxy specially formulated for wood repair per Spec. 06 10 90.
L3. Lengths of lap siding that are rotted through or decayed shall be replaced entirely with new siding matching existing dimensions.
L4. Prime and re–paint all wood siding per Spec. 09 91 00.
L5. Remove existing siding & flashing as required to install new, galvanized metal flashing; lap 12" min. onto adjacent roof. Provide ice & water shield extending from corner 24" min. over adjacent roof. Reinstall siding.
WOOD WINDOWS –
W1. Carefully remove & salvage storm window; clean and re–install after work on windows is complete.
W2. Carefully remove sash(es) and transport to workshop; temporarily board up opening with plywood until sash(es) can be replaced.
W3. Sashes, frame, exterior sill and trim: scrape off and sand down all existing loose or peeling paint down to bare wood.
W4. Manually remove deteriorated, cracked or brittle putty; take care not to damage wood along rabbet. Fill all gaps with glazing putty to restore seal.
W5. Sash member repair: wood stiles, rails or muntins that are split, checked, or show signs of rot shall be either a) repaired where possible with epoxy specially formulated for wood repair per Spec. 06 10 90, or b) replaced with new wood members matching original dimensions. If necessary, carefully remove glass panes and salvage for re–use, then remove remaining glazing putty; take care not to damage wood along rabbet. Reinstall salvaged glass pane(s) in a continuous bead of putty laid around the rabbet; seal with a continuous bead of beveled putty on the outside of the glass pane.
W6. Prime and re–paint all wood sashes per Spec. 09 91 00. Reinstall in original openings.
W7. While sashes are out, inspect frame, sill and exterior trim condition. Cut out rotted or spongy spots; consolidate exposed surfaces with epoxy; rebuild original profile with epoxy specially formulated for wood repair per Spec. 06 10 90. Caulk joint between exterior trim and sill.
W8. Prime and re–paint all exterior window frame, trim & sills per Spec. 09 91 00.

KEY NOTES :
WOOD SHUTTERS –
paint down to bare wood.
S3. Shutter repair: Repair or replace any broken or missing vanes. Strengthen/reinforce corner joints as necessary.
S4. Fabricate missing shutter to match existing one in pair.
S5. Prime and re–paint all shutters per Spec. 09 91 00. Re–install in original locations.
WOOD DOORS –
D1. Carefully remove door and transport to workshop; provide temporary plywood door until original door can be replaced.
D2. Carefully remove door and transport to workshop; temporarily board up opening with plywood until door can be replaced.
D3. Scrape off and sand down all existing loose or peeling paint down to bare wood.
D4. Door repair: portions of wood stiles, rails or panels that are split, checked, or show signs of rot shall be either a) repaired where possible with epoxy specially formulated for wood repair per Spec. 06 10 90, or b) replaced with new wood members matching original dimensions & profiles.
D5. Prime and re–paint all wood doors per Spec. 09 91 00. Reinstall in original openings.
D6. While door is out, inspect frame, sill and exterior trim condition. Cut out rotted or spungy spots; consolidate exposed surfaces with epoxy; rebuild original profile with epoxy specially formulated for wood repair per Spec. 06 10 90. Caulk joint between exterior trim and sill.
D7. Prime and re–paint all exterior door frame, trim & sills per Spec. 09 91 00.
STONE FOUNDATION WALL –
F1. While porch skirt panels are out, excavate trench around south, east (under porch) & north sides of original 1853 structure (East Wing) to a depth of 24" to expose foundation wall. Rake and repoint mortar joints per Spec. 04 01 00. Reset any loose stones in fresh mortar. Backfill soil and compact in trench to restore original grade.
BRICK CHIMNEYS –
B1. Step flashing: Sections of flashing that are corroded or show signs of rust shall be replaced with new, galvanized metal flashing.
B2. Rake and repoint mortar joints per Spec. 04 01 00. Reset any loose brick in fresh mortar.

KEY NOTES :
PORCHES –
P1. South (Back) porch: Remove existing floor decking. Remove & replace floor framing joists with new, preservative–treated (PT) joists, then lay new, clear fir T&G decking boards matching original profile to provide new accessible ramp per New Plan 2/A11.
P2. East porch floor decking: Scrape off and sand down all loose or peeling paint down to bare wood. Lengths of floor boards that show signs of rot or decay shall be removed & replaced with new, clear fir T&G decking boards matching original profile & dimensions.
P3. Carefully remove skirt panels and transport to workshop; scrape off and sand down all existing loose or peeling paint down to bare wood.
P4. East porch steps: Remove existing treads & risers; replace with new 2x PT wood treads & risers.
P5. Posts & guardrail: Scrape off and sand down all existing loose or peeling paint down to bare wood.
P6. Posts & guardrail: all members that are split, checked, or shows signs of rot shall be repaired with epoxy specially formulated for wood repair per Spec. 06 10 90.
P7. Guardrail: Strengthen/reinforce as necessary any connections to posts that have separated or come loose. Caulk all joints between guardrail and posts.
P8. Skirt panel repair: Members or elements that are split, checked, or show signs of rot shall be either a) repaired where possible with epoxy specially formulated for wood repair per Spec. 06 10 90, or b) replaced with new wood members matching original dimensions & profiles.
P9. Prime and re–paint all wood deck, posts, guardrail & skirt panels per Spec. 09 91 00. Re–install skirt panels in original locations.
INTERIOR WORK –
N1. Carefully remove existing hand–painted wood panels below window; re–install after cleaning & restoration.
N2. Repair or replace loose/damaged floor boards this area.
N3. Repair or replace existing door sill; patch floor boards as required.
N4. Remove water–stained wallpaper near ceiling; treat wall area with stain blocker. Re–wallpaper all walls @ Parlor –verify vintage wallpaper with Architect.
N5. Patch/repair doorframe as required; re–paint.
N6. Existing door 'W.14': replace (2) hinges w/ new–use model BB1360, by Hager; replace lockset w/ new–use model LV9070P–F Flair–716, by Schlage; remove dead bolt; replace sweep.
N7. Repair crack in plaster @ corner; prime & re–paint walls.
N8. Water stains @ ceiling: Clean & treat area with stain blocker; re–paint entire ceiling.





Request for Action

TO: Faribault Heritage Preservation
Commission
FROM: Mathias Hughey, Community Development
Coordinator
THROUGH:
MEETING DATE: September 20, 2023
SUBJECT: Verbal Update on Engagement

BACKGROUND:

Staff will update the commissioners on engagement regarding the Heritage Preservation District and Heritage Preservation Design Guidelines.

REQUESTED ACTION:

ATTACHMENTS: