



HERITAGE PRESERVATION COMMISSION AGENDA

3RD FLOOR CONFERENCE WEDNESDAY, AUGUST 6,
ROOM 2025

6:00 PM

1. Call to Order/ Approve Agenda
2. Approval of the Minutes
3. General Heritage Preservation Items
 - A. Citizen Comment Period
4. Design Reviews
 - A. Resolution HPC-2025-003 Approve a Certificate of Appropriateness for a Building Addition at 322 and 324 Central Ave
5. Items for Discussion
6. Adjournment



HERITAGE PRESERVATION COMMISSION MINUTES

3RD FLOOR CONFERENCE
ROOM

WEDNESDAY, JUNE 18, 2025

6:00 PM

Meeting Items

1. Call to Order/Approve Agenda

A regular meeting of the Heritage Preservation Commission was called to order by Vice Chair Weems on June 18th at 6:03 p.m. The Commissioners in attendance were Lee Nordmeyer, Susan Powell, David Sauer, and Vice Chair Weems. Also in attendance was Harry Davis, City Planning Manager. A motion was made by Susan Powell, seconded by Lee Nordmeyer, to approve the agenda as written. The motion carried unanimously.

2. Approval of the Minutes of May 21, 2025.

Lee Nordmeyer made a motion, seconded by Susan Powell, to approve the meeting minutes of May 21, 2025, as presented. The motion carried unanimously.

3. General Heritage Preservation Items

- A. Citizen Comment Period
None present.

4. Design Reviews

5. Items for Discussion

- A. Farmer's Seed Kiosk Boards
The HPC members present had no issues with the boards as presented.

B. HPC Planning for the Future

- i. Discussion on Education, Outreach, and Image of the HPC

- ii. 2026 HPC Awards Program

The HPC members expressed interest in revitalizing the awards program for 2026. Staff will work on a timeline for taking nominations and presenting an award to chosen recipients at the 2026 Heritage Days event.

6. Adjournment

David Sauer made a motion, seconded by Susan Powell, to adjourn the meeting at 6:24 p.m. The motion carried unanimously.

By: _____
Harry Davis



Request for Action

TO: Faribault Heritage Preservation Commission
FROM: Harry Davis, City Planning Manager
THROUGH:
MEETING DATE: August 6, 2025
SUBJECT: Resolution HPC-2025-003 Approve a Certificate of Appropriateness for a Building Addition at 322 and 324 Central Ave

BACKGROUND:

Matt Drevlow on behalf of DIC Holdings LLC submitted a Certificate of Appropriateness (COA) application for new balconies and stairs at 322 and 324 Central Avenue. The property is within the Heritage Preservation District and zoned CBD. Staff reviewed the project and the Commercial District Design Guidelines and the Secretary of the Interior's Standards and determined that the balconies and stairs are compatible and respectful to the building's character and craftsmanship. Please see the attached resolution for a full list of criteria and findings.

REQUESTED ACTION:

Approve Resolution HPC-2025-003

ATTACHMENTS:

1. Resolution HPC-2025-003 COA for 322-324 Central Ave

CITY OF FARIBAULT

HERITAGE PRESERVATION COMMISSION

RESOLUTION #HPC-2025-003

APPROVE A CERTIFICATE OF APPROPRIATENESS FOR A BUILDING ADDITION AT 322 AND 324 CENTRAL AVE

WHEREAS, Matt Drevlow on behalf of DIC Holdings, LLC (the Owner/Applicant), submitted a Certificate of Appropriateness (COA) application for property at 322 and 324 Central Ave in the City of Faribault's Heritage Preservation District (HPD); and

WHEREAS, the Applicant seeks approval to construct rear balconies and stairs; and

WHEREAS, according to the City's Historic Building Inventory (# RC-FAC-643 and RC-FAC-644) these buildings are significant for their classic and common Victorian form seen many times along Central Avenue (attached in Exhibit C); and

WHEREAS, the Heritage Preservation Commission previously approved a COA in 2023 for the Applicant to replace windows and doors on the rear façade in anticipation of this request; and

WHEREAS, the City Planning Manager reviewed the application against the Commercial District Design Guidelines for the HPD and the Secretary of the Interior's Standards for Rehabilitation criteria to provide findings; and

WHEREAS, the HPC reviewed the recommended findings at a public meeting of the commission on August 6, 2025; and

WHEREAS, the HPC approved a Certificate of Appropriateness (Exhibit A) on August 6, 2025 subject to conditions stated in Section 2 of this Resolution, and adopted the following criteria and findings:

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**

Finding: The use of the property is not changing with the proposed rear balconies and stairs. The first floor's primary use will remain commercial, and the upper floor will remain residential, consistent with its historical use, due to the underlying zoning.

2. **The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.**

Finding: The new balconies and stairs are modern in character and construction, but the building's character itself will not change. Although the addition of usable outdoor space on the back of the building is different from how the property was historically used, this will not have a detrimental impact to the property's character. The balconies will not remove or alter distinctive features of the buildings.

3. **Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**

Finding: No changes in appearance from a public street are proposed. No changes will be made to create a false sense of historical development.

4. **Changes to a property that have acquired historic significance in their own right will be retained and preserved.**

Finding: No proposed changes to the property will remove or impair any historical changes previously made to the property.

5. **Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**

Finding: No changes to distinctive examples of materials or craftsmanship on the building will be removed or altered.

6. **Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing**

features will be substantiated by documentary and physical evidence.

Finding: There are no significant or prominent structures that will be removed. An existing, rusting metal staircase will be removed, but it is not a historic element of the building.

- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**

Finding: This standard does not apply. No chemical or physical treatments are used with this proposal.

- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**

Finding: This standard does not apply. No archaeological resources are impacted by the proposal.

- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

Finding: The new balconies and stairs are modern but compatible with the building. They fit in with the recent improvements to the building.

- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

Finding: The balconies and stairs could be removed in the future and not be detrimental to the historic form and character of the property. Their installation is in an area that previously had stairs.

NOW, THEREFORE, BE IT RESOLVED BY THE HERITAGE PRESERVATION COMMISSION OF THE CITY OF FARIBAULT, MINNESOTA, AS FOLLOWS:

Section 1. Certificate of Appropriateness. The Heritage Preservation Commission hereby approves a COA for balconies and stairs on the back of 322 and 324 Central Ave, as requested.

Section 2. Conditions of Approval. The Heritage Preservation Commission adopts and applies the following conditions of approval to the COA issued on August 6, 2025:

1. The applicant shall submit a building permit consistent with the approved COA. Any substantial changes or variations to the proposal, as determined by the City Planning Manager, shall require additional review and approval by the HPC.
2. All work must be completed by August 7, 2026. If an extension is required, the applicant must submit a written request to the City Planning Manager by July 6, 2026. Failure to receive an extension by July 7, 2026 or failure to complete the work described in this document by the deadline will render this Certificate of Appropriateness void.

Section 3. Findings. The recitals in this Resolution are integral to this Resolution and, where applicable, constitute the findings of the Heritage Preservation Commission.

Section 4. Request to take Additional Steps. The Heritage Preservation Commission authorizes the City Administrator, City Staff, and the City's Consultants to take any additional steps and actions necessary or convenient to accomplish the intent of this resolution.

(Remainder of this page intentionally left blank)

Section 5. Effective Date. This resolution shall be effective upon passage.

Date Adopted: August 6, 2025

Faribault Heritage Preservation Commission

Chair

ATTEST:

City Planning Manager

Exhibit A

COA Design Review
(add after approval and signatures)

DESIGN REVIEW APPLICATION FORM
Heritage Preservation Commission
CERTIFICATE OF APPROPRIATENESS

Site Address: 322 and 324 Central Avenue, Faribault, MN 55021

I hereby certify that the Heritage Preservation Commission has reviewed the above-described project and found the work proposed by the applicant to meet or exceed the design guidelines established by the City of Faribault subject to the below listed conditions. The design features approved by the Heritage Preservation Commission are to be considered a condition of the building permit issued by the City of Faribault as stipulated in the Code of Ordinances.

David Wanberg, Director of Community & Economic Development

Notes:

1. The application submitted by Matt Drevlow on behalf of DIC Holdings LLC for property at 322 and 324 Central Avenue, reviewed by the HPC on August 6, 2025, is approved and issued a Certificate of Appropriateness with the conditions outlined below per Resolution HPC-2025-003.
2. The criteria and findings in Resolution HPC-2025-003 shall form the foundation for approval of the COA.
3. The applicant shall submit a building permit consistent with the approved COA. Any substantial changes or variations to the proposal, as determined by the City Planning Manager, shall require additional review and approval by the HPC.
4. All work must be completed by August 7, 2026. If an extension is required, the applicant must submit a written request to the City Planning Manager by July 6, 2026. Failure to receive an extension by July 7, 2026 or failure to complete the work described in this document by the deadline will render this Certificate of Appropriateness void.

Date of Heritage Preservation Commission Review: 08/06/2025 _____
Certificate of Appropriateness Issued: 08/07/2025 _____
Expiration Date 08/07/2026 _____

Copies forwarded to
Building Official: _____ Property Owner: _____ Site File: _____ SCDP File: _____

Exhibit B

Design Review Application Submittal

(insert application materials after this page)

GENERAL STRUCTURAL NOTES

GENERAL DESIGN & CONSTRUCTION:

1. All work shall comply with the 2018 International Building Code (IBC 2018) with State of Minnesota 2020 Amendments.
2. Design Loads (Risk Category III):
 - a. Balcony Dead Load = 15psf Total (Including framing)
 - b. Balcony Live Load = 50 psf
 - c. Mezzanine Dead Load = 90psf Total (Including framing)
 - d. Mezzanine Live Load = 60 psf
 - e. Stair Live Load = 100 psf (For All Stairs)
3. Wind Loads = Per ASCE 7-16 (Ultimate)
 - Basic wind speed = 109 mph (3-second gust)
 - Exposure 'C', Iw = 1.0
4. Seismic Loads = Per IBC 2018
 - Design Category = 'A'
 - Site Class = 'D'
 - Ie= 1.0, Ss=0.084, S1 =0.042, Sds=0.090, Sd1 =0.067
5. The contract structural drawings and specifications represent the finished structure. Unless otherwise indicated, they do not indicate the means or method of construction.
6. The contractor is solely responsible for the protection of the structure during all phases of demolition, construction and installation. Provide all measures necessary to protect the structure, workers or other persons by means of shoring, bracing and job site safety measures.
7. Temporary bracing, shoring and dewatering is the responsibility of the contractor.
8. No area of the structure shall be loaded with construction material or equipment that exceeds final design loading indicated.
9. Structural engineer's seal on the plan does not provide for construction inspection.
10. Shop drawings prepared by suppliers, subcontractors, etc. shall be dimensioned, reviewed, coordinated, and signed/stamped by the general contractor prior to submitting to the Structural Engineer.
11. Fabricator shall clearly note changes made in the shop drawings which do not comply with the construction documents.
12. Verify all dimensions and conditions of existing construction to be as shown on the drawings. Advise the structural engineer of variances prior to continuing with construction.
13. Protect existing construction from damage due to construction of new additions. Make no cuts or alterations to existing construction other than those shown on the drawings without the approval of the structural engineer.

FOUNDATIONS:

1. Foundations are based on a minimum allowable soil bearing capacity of 1,500 psf, an assumed value. Assumed values shall be verified by a licensed geotechnical engineer in the state of Minnesota. If value is not verified, contractor/owner shall take full responsibility of design assumption.
2. The contractor shall coordinate with the geotechnical engineer the proposed construction procedures and schedule relating to the foundation excavation and construction. The contractor shall follow the geotechnical report recommendations.
3. Clean footing and foundation excavations of snow, water, mud, loose soil and debris prior to placing footing concrete.
4. Footings and slabs may not be earth formed.
5. Footing and foundation excavations shall be to proper line and level to ensure minimum concrete cover of footing reinforcement for footing depth.
6. Protect all foundations from the action of water and freezing.

STRUCTURAL STEEL:

1. Structural steel work is to be per AISC specifications. Steel grades shall be as follows (unless noted otherwise on drawings):
 - Wide Flange (W) Shapes ASTM A992 (Fy=50 ksi)
 - Channel (C) Shapes ASTM A36 (Fy=36 ksi)
 - HSS Rectangular (and Square) ASTM A500 - Grade C (Fy=50 ksi)
 - HSS Round ASTM A500 - Grade C (Fy=46 ksi)
 - Plates & Others Not Listed ASTM A36 (Fy=36 ksi)
2. All structural bolts shall be ASTM A325 High-Strength bolts or ASTM F1852 Twist-Off Type Tension Control High-Strength Bolts, except as noted otherwise.
3. Stainless bolts shall be ASTM A320 and nuts ASTM A194. All stainless bolts and nuts in contact with aluminum shall be separated by a neoprene backed stainless steel washer.
4. Structural steel indicated as galvanized (GALV.) shall be hot dip galvanized to:
 - ASTM A123 for members
 - ASTM A153 for bolts, nuts, and washers
5. All anchor bolt and anchor rod material shall be ASTM F1554, Grade 55 (Fy=55 ksi). Unless noted otherwise.
6. All screw anchors shall be carbon steel HILTI KWIK HUS-EZ, except as noted otherwise. Install bolts per manufacturer's recommendations with bolt embedment depth into concrete as indicated on structural drawings.
7. All epoxy-set threaded rod anchorage to concrete shall be HILTI HIT-HY 200 Safe Set System with carbon steel anchors (HILTI HIT-Z Anchor Rod or HILTI Hollow Drill Bit System with HAS-E threaded rod), except as noted otherwise. Install per manufacturer's recommendations with bolt embedment depth into concrete as indicated on structural drawings.
8. All epoxy-set threaded rod anchorage to Masonry shall be HILTI HIT-HY 70 Masonry Adhesive Anchoring System with carbon steel anchors (Anchors are to consist of HAS-E threaded rod), except as noted otherwise. Use in conjunction with screen tube where anchor is installed in hollow multi-wythe masonry. Install per manufacturer's recommendations with bolt embedment depth into masonry as indicated on structural drawings.
9. Beams and columns shall be erected true and plumb. Provide temporary bracing.
10. No field welds are to be made until the members are properly aligned. Field welds are to be made by competent welders using proper electrodes and amperage.
11. Do not paint metals to be field welded or to be cast in concrete.
12. Galvanized structural framing members having protective coating removed by welding or other fastening method shall have the coating repaired by painting with a zinc-rich primer.

CAST-IN-PLACE CONCRETE:

1. Concrete mix design(s) shall be stamped by a licensed professional engineer in the state where the project is located and shall be submitted to Structural Engineer for approval at the responsibility of the General Contractor. Mix designs should conform to the requirements below. Variations are required to be approved by engineer of record (EOR). Supplier shall coordinate with EOR for alternative designs, such as, extended joint spacing for slabs.
 2. Concrete Mix Designs:
 - a. Exterior Exposed Foundations:
 - Compressive strength: 4,500 psi
 - Water cement ratio: 0.45 max
 - Aggregate: 3/4" max
 - Fly Ash: 25% max
 - Air Content: 6%
 - b. Grout for steel base plates and bearing plates:
 - Compressive strength: 8,500 psi
 - Non-shrink, non-metallic type meeting ASTM C1107 (Follow manufacturer's directions for use.)
 3. Concrete compression strength - f_c - shall be based on the 28-day test strength
 4. Concrete shall be tested for strength (per ASTM C31 and C39), slump and air content. Test frequency shall be per special inspections report. In the absence of a special inspection report, test each mix type at least: once per day, once for each 150 cu. yard, or once per 5000 sq ft, whichever is greater. Strength test one cylinder at 7 days, one at 14 days, one at 28 days and hold one cylinder.
 5. Concrete aggregate shall meet ASTM C33 with a maximum shale or deleterious material content of 1%.
 6. Portland cement shall meet ASTM C150 Type III and shall be low Alkali.
 7. Fly Ash shall meet ASTM C618 "Class C or Class F" may be substituted by weight for cement up to maximum limits indicated in each concrete mix design.
 8. Mid-Range Plasticizer shall meet ASTM C494 Type A.
 9. High-Range Plasticizer shall meet ASTM C494 Type F.
 10. Air Entraining agents shall meet ASTM C260.
 11. Non-Chloride Set-Accelerating Admixture shall meet ASTM C494, Type C and E.
 12. Low Shrinkage Concrete shall have an ultimate dry shrinkage of less than .052% per ASTM C157.
 13. Macro Synthetic Fiber shall be a polypropylene/ polyethylene synthetic macro fiber complying with ASTM C1116 Type 3, 2" minimum length, aspect ratio of 50 to 90. See plan for dosages 3.0 lbs/cubic yard minimum.
 14. Concrete construction shall conform to the ACI building code requirements for reinforced concrete, ACI 318.
 15. Hot Weather Concrete per ACI 305.1 and Cold Weather Placement per ACI 306.1 shall be followed where weather conditions warrant.
 16. Concrete Curing - Protect freshly placed concrete from premature drying and excessive cold or hot temperatures per ACI 306.1 for cold-weather protection and ACI 301 for hot-weather protection during curing. Begin curing unformed surfaces (floors and slabs, concrete floor toppings, etc.) immediately after finishing concrete. Cure concrete according to ACI 308.1, by one or a combination of the following methods:
 - A. Moisture Curing: Keep surfaces continuously moist for not less than seven days with Continuous water-fog spray or absorbent cover, water saturated, and kept continuously wet.
 - B. Moisture-Retaining-Cover Curing: Cover concrete surfaces with moisture-retaining cover for curing concrete for not less than seven days. Immediately repair any holes or tears during curing period using cover material and waterproof tape.
 - C. Curing Compound: Apply uniformly in continuous operation by power spray or roller according to manufacturer's written instructions. Maintain continuity of coating and repair damage during curing period. Remove curing compound if required for coverings or by manufacturer without damaging concrete surfaces.
 17. Forms shall be left on all walls for a minimum of 2 days.
 18. All concrete reinforcing shall meet ASTM specification A615, Grade 60. All concrete reinforcing specified to be welded shall meet ASTM specification A706, Grade 60. All reinforcing steel sizes, spacings, dimensions, locations etc. shall be as shown on the Structural Drawings.
 19. Reinforcing steel shall be bent and placed in accordance with the ACI code. All bars shall contain corner dowel bars. All corner dowel bars shall be as shown on the drawings or shall be the same size and spacing as the main bars. Lap all corner dowel bars a minimum of 40 diameters or longer as shown on the drawings.
 20. Provide adequate support bars and accessories to hold all rebar firmly in place not allowing movement from their detailed position during pouring of concrete.
 21. Concrete cover for reinforcing shall be as shown on the drawings with cover distances not shown to be per ACI 318. All cover or clear distances to reinforcing steel shown on the drawings shall be absolute dimensions, that is, they must be held to the dimension shown and are NOT minimum or maximum dimensions.
 22. Concrete slabs cast directly on grade must not be allowed to freeze after pouring. Subgrade soil temperature beneath interior slabs-on-grade must be maintained above freezing at all times after pouring. Concrete shall not be poured on frozen soils.
 23. The edges of all concrete beams, columns, etc. exposed to view shall contain 3/4" continuous chamfered edges. The chamfered edges shall be produced during casting.
 24. All epoxy-set rebar doweling to concrete shall be HILTI HIT-HY 200 Safe Set System with HILTI Hollow Drill Bit System, except as noted otherwise. Install manufacturer's recommendations.



1 BALCONY 3D VIEW
50 SCALE:



Client:
Varley Construction

Project Title:
**324 Central Ave FBO
Balcony**

Project Location:
Faribault, MN

Revisions:

A	9.27.2024	PJD
FOR REVIEW		
Rev.#	Date	App By
	Description	

Note:
Drawings are not to be scaled to obtain dimensions. Contact TEKTON Engineers for omitted or additional dimensions, or those in conflict with actual field measurements.

**PRELIMINARY
NOT FOR CONSTRUCTION
9.27.2024**

Project Number: 5001092
Date: 9.27.2024
Drawn By: JKE
Checked By: PJD
Copyright: 2024

Sheet Title:
GENERAL STRUCTURAL NOTES

Sheet:
50

22x34

Client:
Varley Construction

Project Title:
**324 Central Ave FBO
Balcony**

Project Location:
Faribault, MN

Revisions:		
Rev.#	Date	App By
A	9.27.2024	PJD
FOR REVIEW		

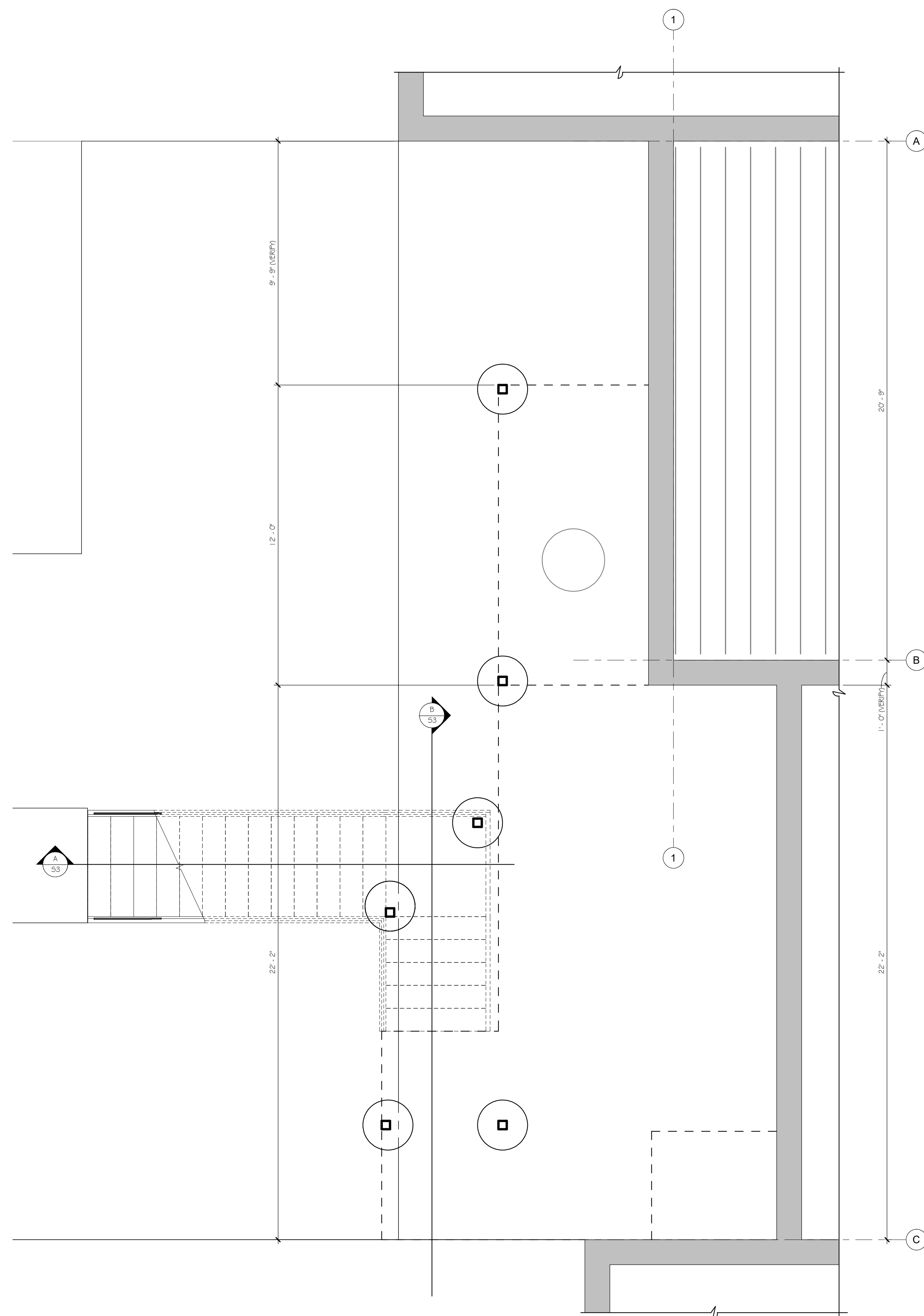
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**PRELIMINARY
NOT FOR CONSTRUCTION
9.27.2024**

Project Number: 5001092
Date: 9.27.2024
Drawn By: JKE
Checked By: PJD
Copyright: 2024

Sheet Title:
FOUNDATION PLAN

Sheet:
S1
22x34



NORTH



FOUNDATION PLAN

S1 SCALE: 3/8" = 1'-0"

FOUNDATION PLAN NOTES:

1. F.F.E. INDICATES FINISHED FLOOR ELEVATION. EX. F.F.E. INDICATES EXISTING FINISHED FLOOR ELEVATION. VERIFY AS REQUIRED.
2. "EX." & "EXISTING" INDICATES EXISTING CONSTRUCTION. EXISTING MEMBER SIZES & DIMENSIONS ARE ASSUMED- FIELD VERIFY AS REQD. "F.V." & "VER." INDICATES THAT DIMENSION IS TO BE FIELD VERIFIED PRIOR TO MATERIAL FABRICATION, CONCRETE CONSTRUCTION, OR STEEL FABRICATION ETC... THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTING STRUCTURE TO ENSURE PROPER FIT-UP OF ALL NEW CONSTRUCTION INFLUENCED BY EXISTING CONDITIONS. ALL DIMENSIONS MUST BE VERIFIED.
3. M.E. INDICATES MATCH EXISTING. CONTRACTOR TO VERIFY EXISTING ELEVATIONS, DIMENSIONS, ETC. AND MATCH NEW CONSTRUCTION TO EXISTING PRIOR TO MATERIAL FABRICATION.

Client:
Varley Construction

Project Title:
**324 Central Ave FBO
Balcony**

Project Location:
Faribault, MN

Revisions:

Rev.#	Date	App By	Description
A	9.27.2024	PJD	FOR REVIEW

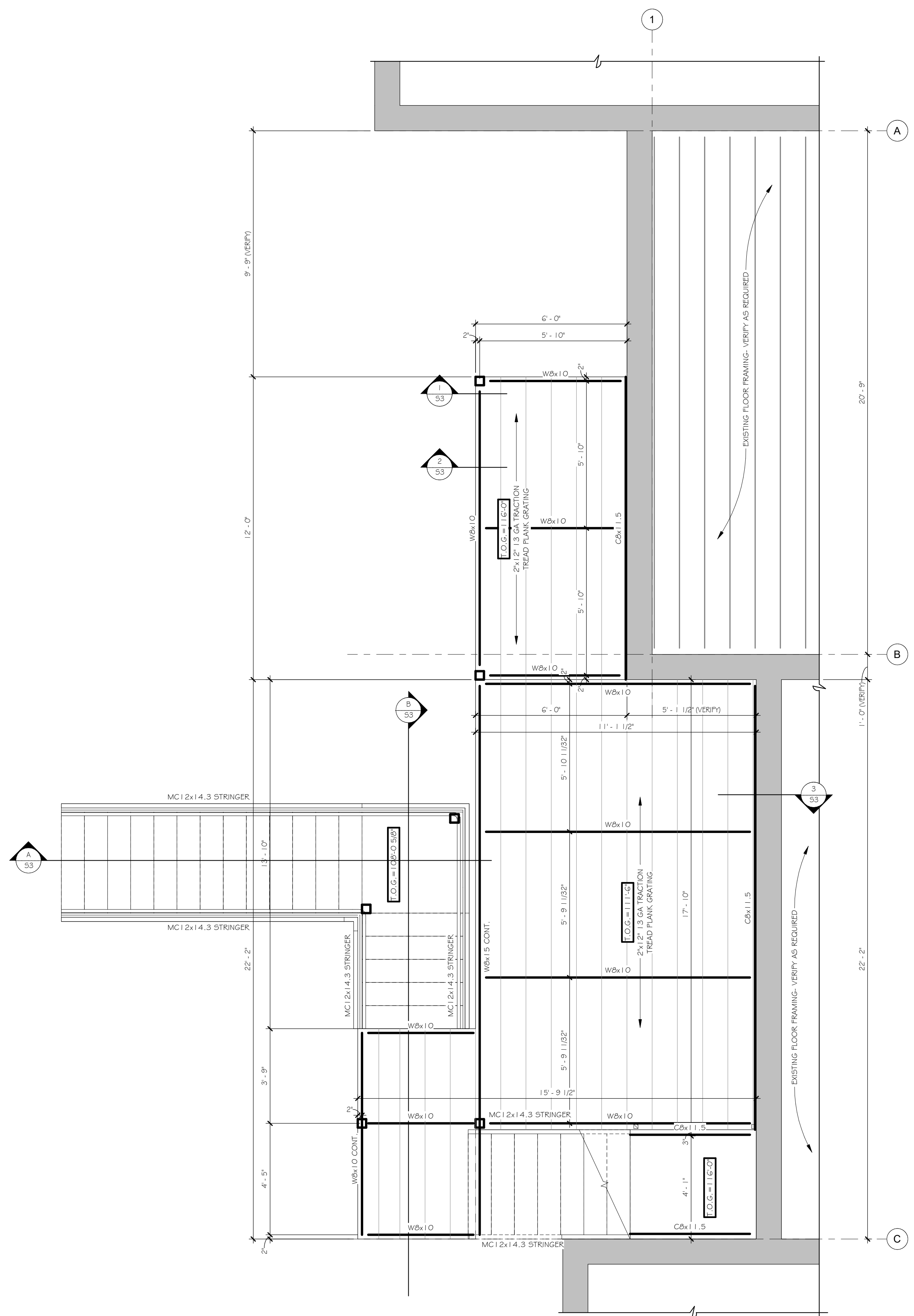
Note:
Drawings are not to be scaled to obtain dimensions. Contact TEKTON Engineers for omitted or additional dimensions, or those in conflict with actual field measurements.

**PRELIMINARY
NOT FOR CONSTRUCTION
9.27.2024**

Project Number: 5001092
Date: 9.27.2024
Drawn By: JKE
Checked By: PJD
Copyright: 2024

Sheet Title:
BALCONY FRAMING PLAN

Sheet:
S2
22x34



STEEL PRICING NOTES:
1. ALL STRUCTURAL STEEL IS TO BE SHOP PAINTED OR GALVANIZE AND FIELD BOLTED WITH NO OR LIMITED FIELD WELDING.
2. PLANK GRATING IS BY McWILHOLS OR APPROVED EQUAL- VERIFY MOUNTY HARDWARE FOR DECK AND STAIR TREADS

1 BALCONY FRAMING PLAN
SCALE: 3/8" = 1'-0"

- FRAMING NOTES:**
- T.O.G. INDICATES TOP OF GRATING ELEVATION. EX. F.F.E. INDICATES EXISTING FINISHED FLOOR ELEVATION- VERIFY AS REQUIRED.
 - T.O.S. INDICATES TOP OF STEEL ELEVATION. EX. T.O.S. INDICATES EXISTING TOP OF STEEL ELEVATION- VERIFY AS REQUIRED. (X) AFTER BEAM SIZE INDICATES T.O.S. MEASURED FROM F.F.E.- LOCATE TOP OF STEEL BELOW GRATING UNLESS NOTED OTHERWISE.
 - (S) → INDICATES BEAM SPICE LOCATION. SEE PLAN AND TYPICAL DETAIL.
 - INDICATES PLAN KEYNOTE. SEE KEYNOTES THIS SHEET.
 - "EX." * "EXISTG" INDICATES EXISTING CONSTRUCTION. EXISTG MEMBER SIZES & DIMENSIONS ARE ASSUMED- FIELD VERIFY AS REQD. "F.V." * "VER." INDICATES THAT DIMENSION IS TO BE FIELD VERIFIED PRIOR TO MATERIAL FABRICATION, CONCRETE CONSTRUCTION, OR STEEL FABRICATION ETC... THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTING STRUCTURE TO ENSURE PROPER FIT-UP OF ALL NEW CONSTRUCTION INFLUENCED BY EXISTING CONDITIONS. ALL DIMENSIONS MUST BE VERIFIED.
 - M.E. INDICATES MATCH EXISTING. CONTRACTOR TO VERIFY EXISTING ELEVATIONS, DIMENSIONS, ETC. AND MATCH NEW CONSTRUCTION TO EXISTING PRIOR TO MATERIAL FABRICATION.

Client:
Varley Construction

Project Title:
**324 Central Ave FBO
Balcony**

Project Location:
Faribault, MN

Revisions:

Rev.#	Date	App By	Description
A	9.27.2024	PJD	FOR REVIEW

Note:
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NOT FOR CONSTRUCTION
9.27.2024**

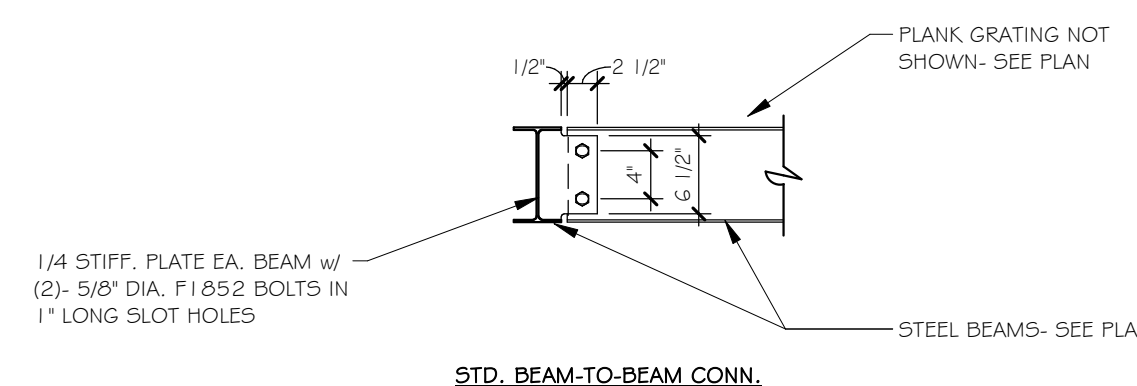
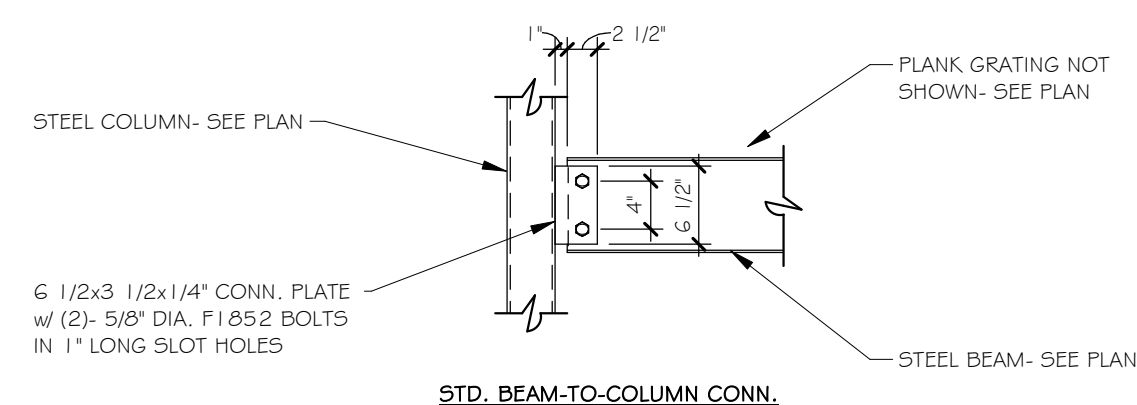
Project Number: 5001092
Date: 9.27.2024
Drawn By: JKE
Checked By: PJD
Copyright: 2024

Sheet Title:
FRAMING DETAILS

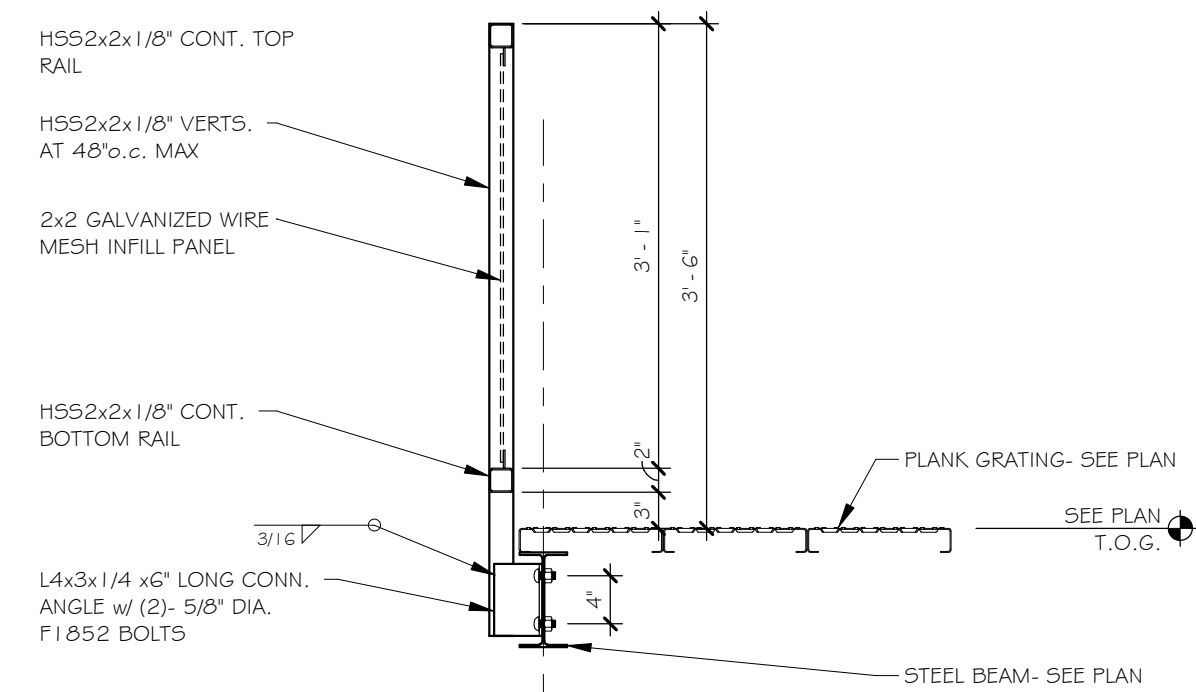
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S3

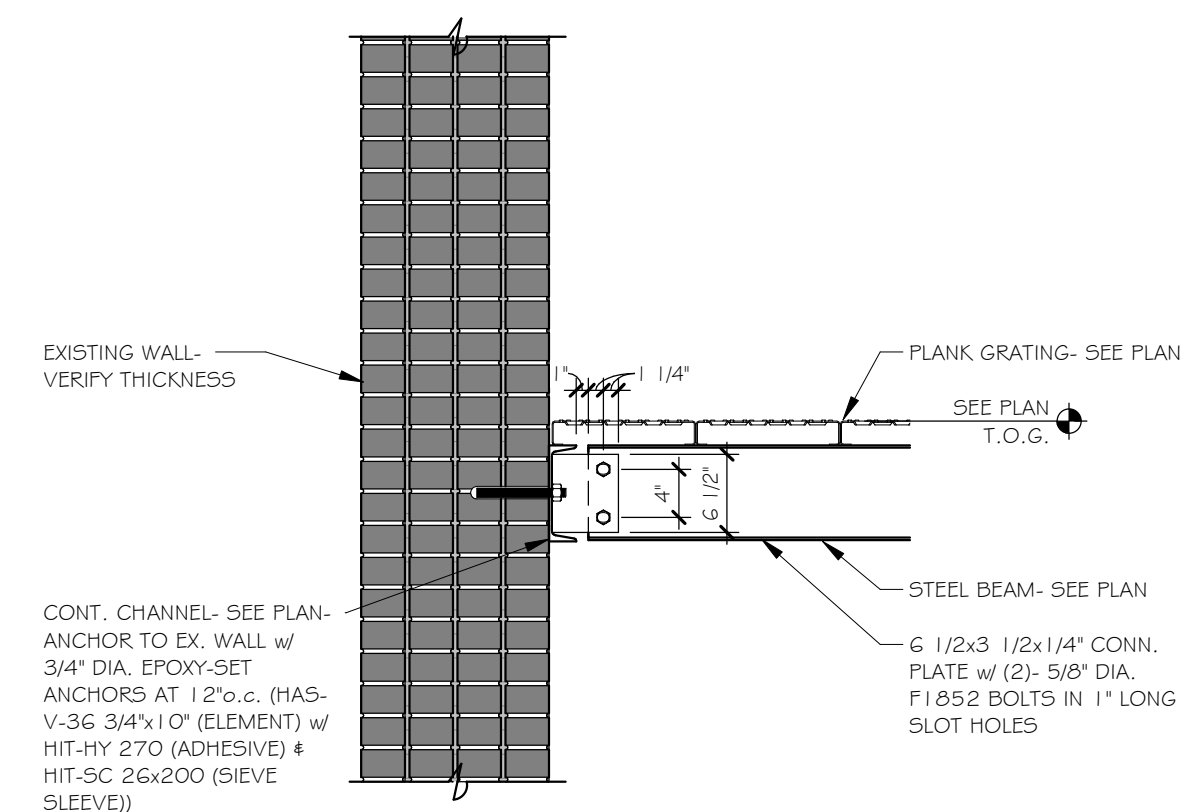
22x34



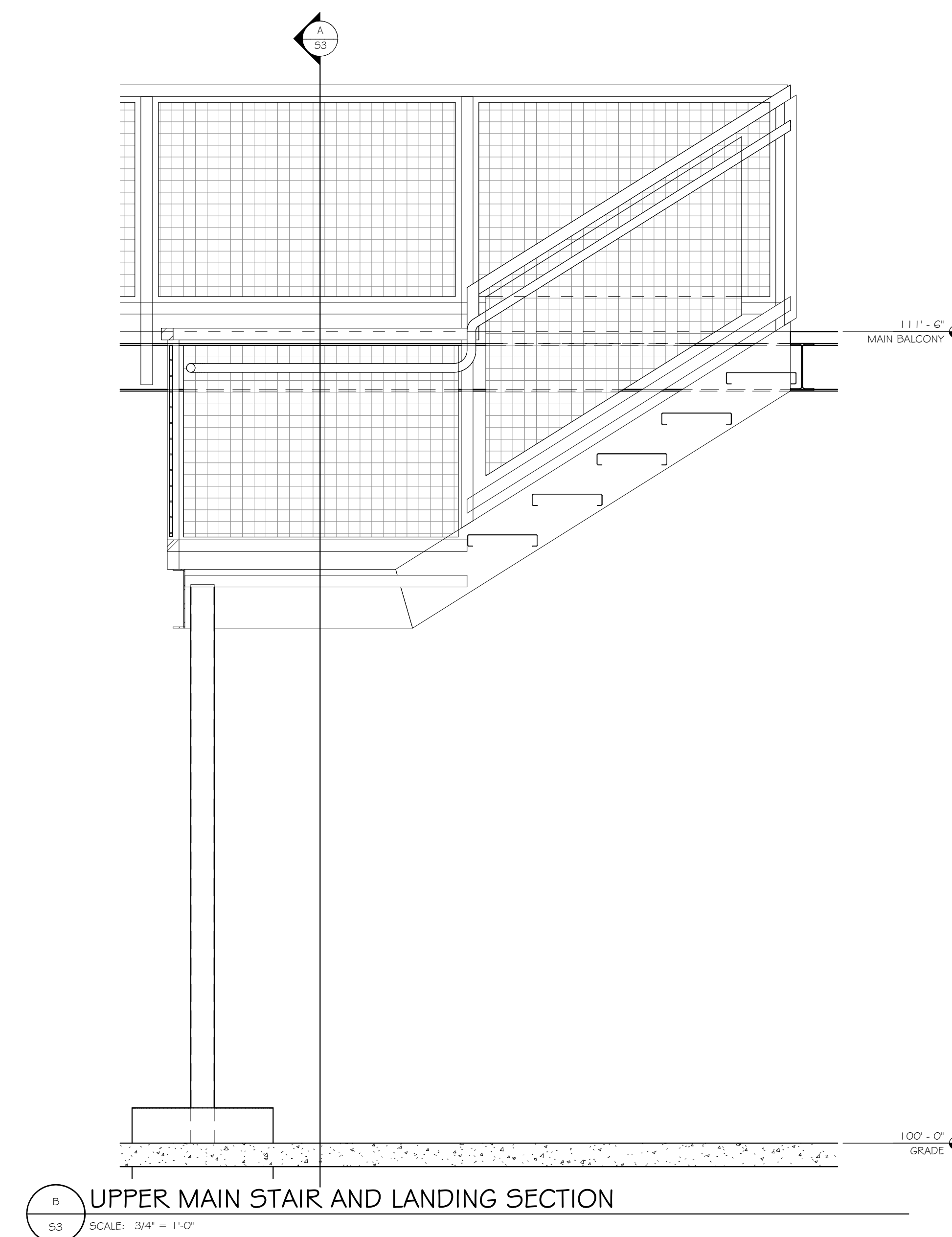
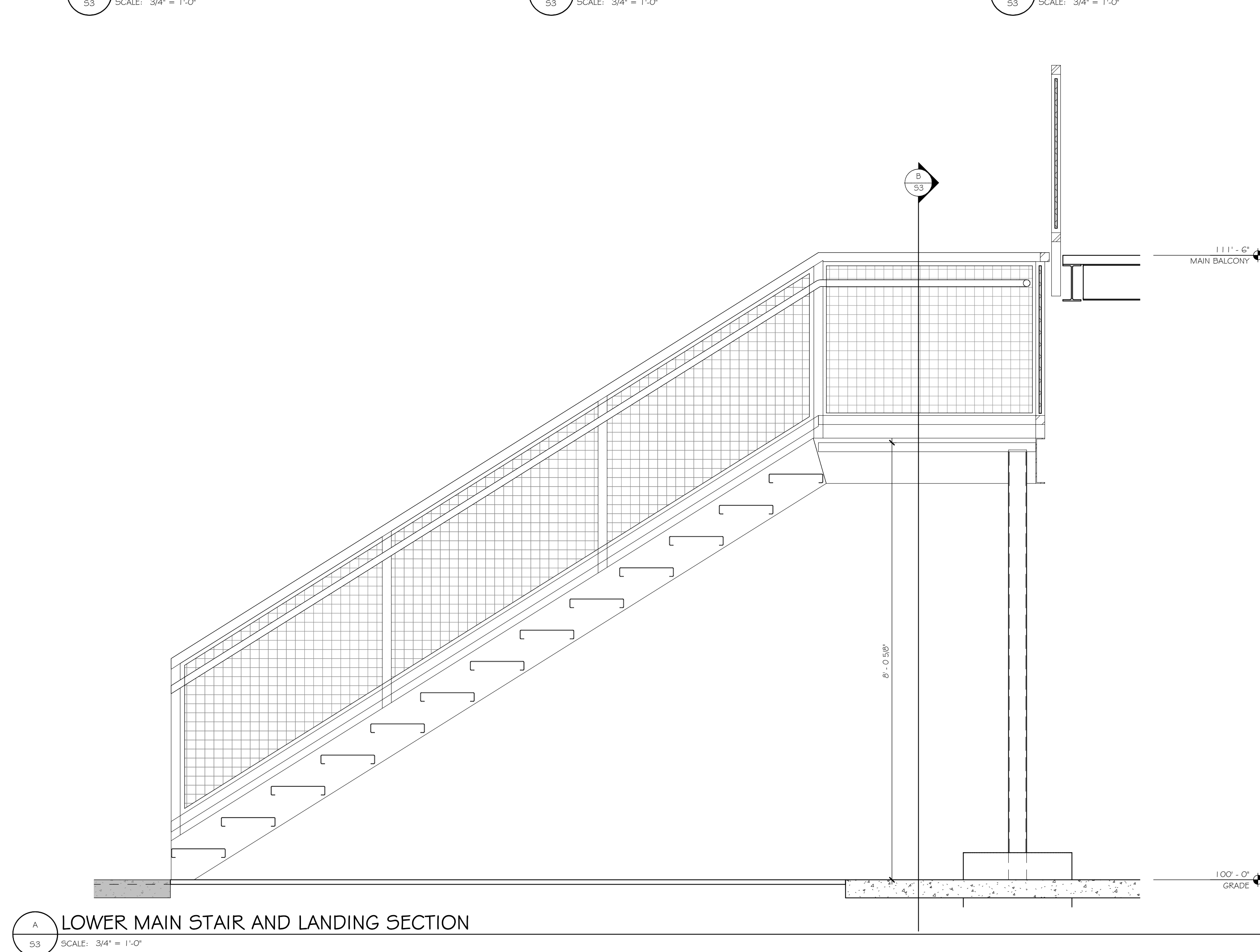
1 TYPICAL BEAM CONN. DETAIL
53 SCALE: 3/4" = 1'-0"



2 TYP. BALCONY EDGE & RAILING DETAIL
53 SCALE: 3/4" = 1'-0"



3 FRAMING ATTACHMENT AT EXISTING
53 SCALE: 3/4" = 1'-0"



B UPPER MAIN STAIR AND LANDING SECTION
53 SCALE: 3/4" = 1'-0"

A LOWER MAIN STAIR AND LANDING SECTION
53 SCALE: 3/4" = 1'-0"



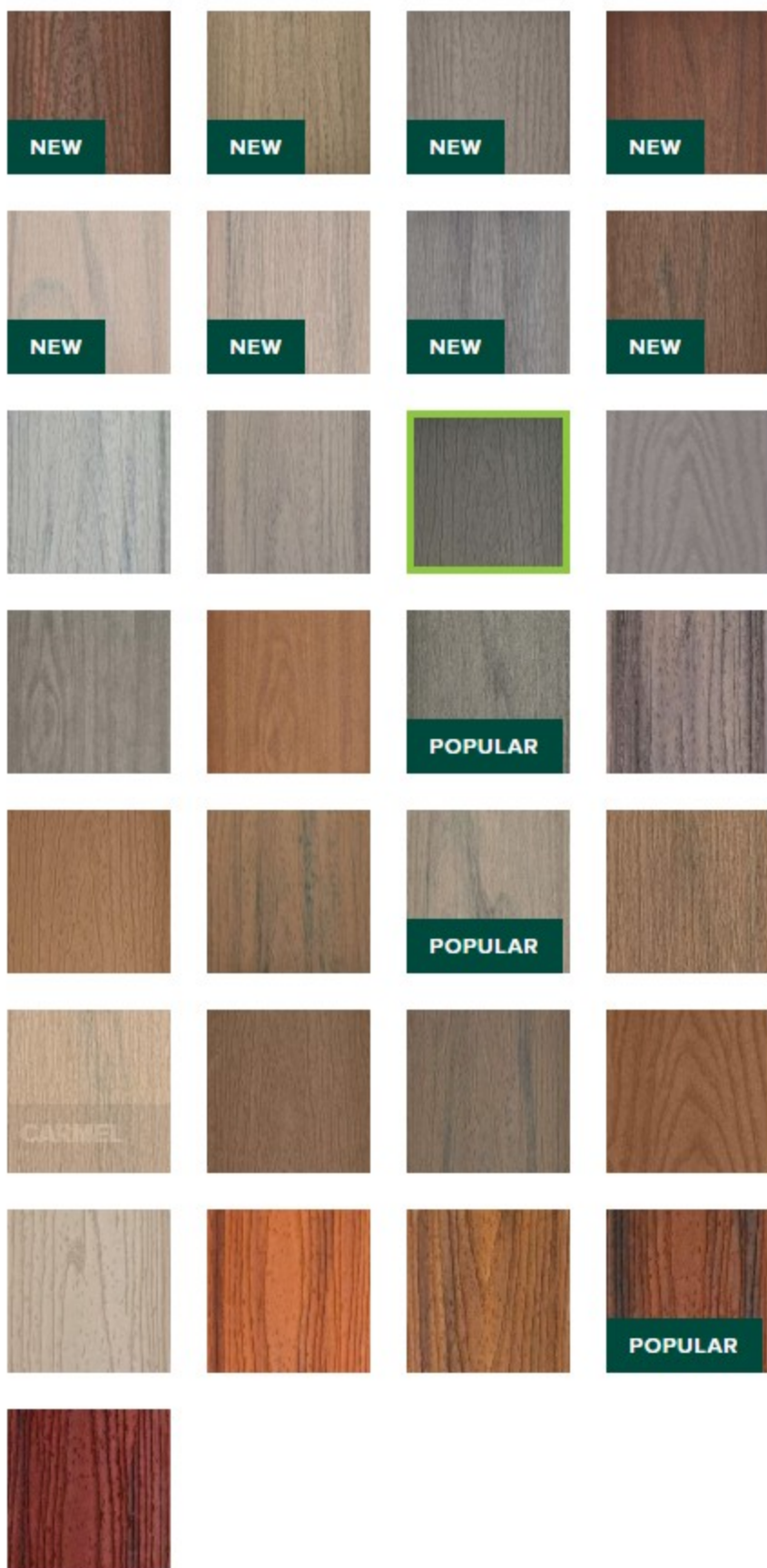


Find the perfect deck color that speaks to you.

Explore our array of composite decking color options. Now available in new colors engineered to be appreciably cooler* and comfortable.

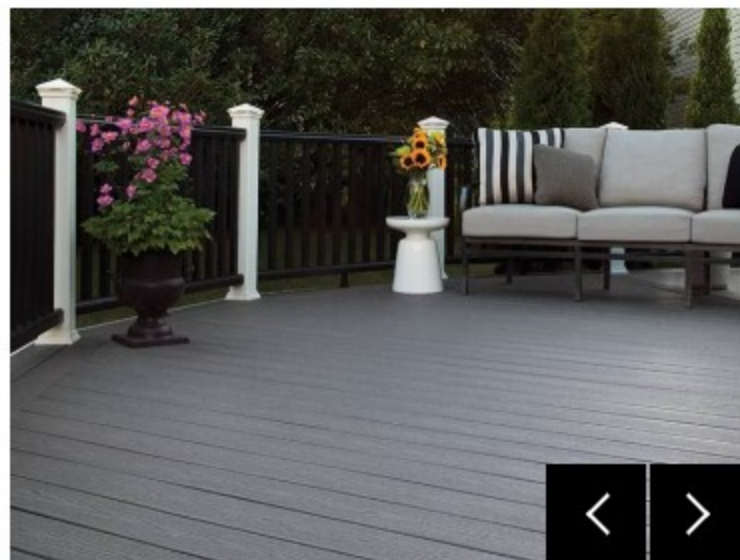
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Exhibit C

**Historic Inventory Files Partial Record for Sites # 454 & # 455
(# RC-FAC-643 and # RC-FAC-644)**

(insert records after this page)

HISTORIC SITES SURVEY OF FARIBAULT

PRESENT NAME OF SITE : MOTHER GOOSE BOUTIQUE

INVENTORY # RC-FAC-643

SITE ADDRESS : 322 CENTRAL AVE N
W SIDE OF STREET

FIELDWORK DATE : 05 - 87
FIELDWORKER : Granger

SITE SUMMARY

INVENTORY #	PROPERTY TYPE	CONTRIBUTING STATUS	PHOTO I.D.
643 *	Commercial bldg./store	Contributing Building	1B.6

PROPERTY SPECIFIC INFO

TAX PARCEL #
ASSESSOR'S MAP #

ZONING DISTRICT :
BUILDING PERMIT #

APPROX. LEGAL DESCRIPTION :

PRESENT OWNER'S NAME AND ADDRESS :

NEIGHBORHOOD SETTING :

SITE FEATURES :

POTENTIAL THREATS :

HISTORIC CONTEXTS :

Commerce

SIGNIFICANCE :

LOCAL
 STATE
 NATIONAL

DESIGNATION STATUS :

HPC SITE
 NR SITE
 HPC DIST Downtown
 NR DIST _____

ELEMENT SPECIFIC INFO

PRESENT NAME : MOTHER GOOSE BOUTIQUE
 HISTORIC NAME :

INVENTORY # RC-FAC-643

ADDRESS : 322 CENTRAL AVE N

DESCRIPTION

DATE BUILT : Circa 1900
 DATE SOURCE :

PROPERTY TYPE : Commercial bldg./store
 PRESENT USE : Commercial bldg./store

STYLE : Victorian Commercial

INTACTNESS :
 ___ INTACT
 ___ SLIGHT ALTERED
 ___ MODER ALTERED
 ___ VERY ALTERED

CONDITION :
 ___ EXCELL
 ___ GOOD
 ___ FAIR
 ___ POOR

STORIES : 2
 ROOF STYLE : Flat
 WINDOWS : Rectangular 1/1
 FOUNDATION :

STRUCTURAL SYSTEM : Brick
 PRIMARY EXTERIOR : Brick
 SECONDARY EXTERIOR : Stone

ADDITIONAL COMMENTS : Corbelled brick cornice, medium brown brick.

ALTERATIONS : Storefront altered.

OPEN TO PUBLIC : ___ YES ___ NO LIMITED

BACKGROUND & SIGNIFICANCE

ARCHITECT :
 CONTRACTOR :

ORIGINAL OWNER :

HISTORIC BACKGROUND :

SOURCES :

STATEMENT OF SIGNIFICANCE :

Faribault Commercial Historic District

Street No **Street Name**

322 CENTRAL AVE

SHPO No

RC-FAC-642

Property Name

Weinberger & Eigenbrodt

Current Owner

HOFSTAD MARK J & KRISTIN A

PIN

1831126289

Zone

15

UTM Easting

478566

UTM Northing

4904605

USGS Map

Faribault

Township

110

Range

20

Section

31

Quarter

NE

Q Q

SW

Legal Description

Lot 004 Block 045 of ORIGINAL TOWN FARIBAULT
 ORIG TOWN N1/2 S2/3 L4 B45 EX W16FT

Historic Use

Commerce: Specialty Store

Current Use

Commerce: Restaurant

Description

Architectural Style

Stories

2

Architect

Contractor

Primary Exterior

Brick

Foundation

Mix, stone & concrete

Roof Materials

Composition

Roof Form

Flat

Integrity

Slightly Altered

Condition

Excellent

Narrative Description

This is a two-story brick commercial building that follows a common form within the district. The street façade measures 22 feet across, the full lot width. It extends to the rear 100 feet. On the street level, there are three bays, the central Bay is a recessed single door entry. On either side are fixed plate glass windows. The framing is a dark anodized aluminum. There are window lights above the primary windows. The bulkhead is covered by a faux stone cover. on the second floor there are three symmetrically placed windows, double sash, with one over one lights. There is a stone sill under each window. On the outer edges of this space, there is a raised brick pier. above the windows there is a small course of dark brown leading to a core bold cornice.

Faribault Commercial Historic District

Street No	Street Name	SHPO No	Property Name
322	CENTRAL AVE	RC-FAC-642	Weinberger & Eigenbrodt

History

Date Built	Date Source	Original Owner
1884 ca.	Rice County Assessors Office	George Weinberger and George Eigenbrodt

Historical Background

This was originally the home of Weinberger and Eigenbrodt, grocers. George Wienberger and George Eigenbrodt operated their business here from at least 1900 through 1915. It was advertised as "The Leading Grocery, Staple and Fancy Groceries, Vegetables, Fruits, Confectionary, Flour, Etc. Fish and Oysters in Season." By 1929, however, they had closed the business and moved into real estate as partners, working from 408 Central Ave.

This was Betty's Bakery for several years in the 1950s and 1960s.

Sources

Polk Directories, Faribault, 1902, 1915, 1936

Historic Context

Commerce

NRHP Current	Local District Current	NRHP Recommend	Contributing
No	Yes	Yes	Contributing

Surveyed by Daniel J. Hoisington October, November 2012

Faribault Commercial Historic District

Street No	Street Name	SHPO No	Property Name
322	CENTRAL AVE	RC-FAC-642	Weinberger & Eigenbrodt





CERTIFICATE OF APPROPRIATENESS Heritage Preservation Commission

APPLICANT INFORMATION

Site Address: 322 & 324 Central Ave

CERTIFICATION

I hereby certify that the Heritage Preservation Commission has reviewed the above-described project and found the work proposed by the applicant to meet or exceed the design guidelines established by the City of Faribault.

The design features approved by the Heritage Preservation Commission are to be considered a condition of the building permit issued by the City of Faribault as stipulated in the Code of Ordinances.

David Wanberg, Director of Community & Economic Development

NOTES

Project Note: The approved work is limited to the work described in the application approved at the 11/15/2023 meeting of the Heritage Preservation Commission. Additional work including decks, access changes, or site changes, especially in the rear of the building will require a separate Certificate of Appropriateness.

The approved work description is as follows:

The intent is to replace upper windows with double hung windows that replicate the look of the original windows in front and back, repair the storefront on 322 and reconstruct the storefront on 324. The upper rear windows and doors of 324 will be replaced with new products that replicate the look of the existing. The upper rear windows and doors of 322 will be modified with the door moved to the other side of the building to accommodate our egress plan for the 6 unit complex and the window openings restored to their original height and width. The Stucco finish on the rear facade will be repaired and preserved. and the lower windows and doors will be preserved and repaired. The front upper windows on 324 will be replaced. The front upper windows on 322 will remain. The lower front facade will be laid out with a uniform dentil molding across both buildings with the existing rotting trim on 322 being replaced with Fypon pilasters, window panels and trim. The windows on 322 will be preserved in place. The storefront of 322 will be replicated at 324 with the door relocated to the south side. The windows on 324 will be replaced with the the same model windows used in 322.

TIMELINE

Date of Heritage Preservation
Commission Review: 11/15/2023

Certificate of Appropriateness
Issued: 11/16/2023

Expiration
Date: 11/16/2024

COPIES FORWARDED TO

Building Office

Property Owner

Site File

SCDP File





Front

Mother Goose - 322 Central

BEFORE



Back



HISTORIC SITES SURVEY OF FARIBAULT

PRESENT NAME OF SITE : DULING OPTICAL

INVENTORY # RC-FAC-644

SITE ADDRESS : 324 CENTRAL AVE N
W SIDE OF STREET

FIELDWORK DATE : 05 - 87
FIELDWORKER : Granger

SITE SUMMARY

INVENTORY #	PROPERTY TYPE	CONTRIBUTING STATUS	PHOTO I.D.
644 *	Commercial bldg./store	Contributing Building	18.7

PROPERTY SPECIFIC INFO

TAX PARCEL #
ASSESSOR'S MAP #

ZONING DISTRICT :
BUILDING PERMIT #

APPROX. LEGAL DESCRIPTION :

PRESENT OWNER'S NAME AND ADDRESS :

NEIGHBORHOOD SETTING :

SITE FEATURES :

POTENTIAL THREATS :

HISTORIC CONTEXTS :

Commerce

SIGNIFICANCE :

LOCAL

STATE

NATIONAL

DESIGNATION STATUS :

HPC SITE

NR SITE

HPC DIST Downtown

NR DIST _____

ELEMENT SPECIFIC INFO

PRESENT NAME : DULING OPTICAL
 HISTORIC NAME :

INVENTORY # RC-FAC-644

ADDRESS : 324 CENTRAL AVE N

DESCRIPTION

DATE BUILT : Circa 1890
 DATE SOURCE :

PROPERTY TYPE : Commercial bldg./store
 PRESENT USE : Commercial bldg./store

STYLE : Victorian Commercial

INTACTNESS :
 ___ INTACT
 ___ SLIGHT ALTERED
 ___ MODER ALTERED
 ___ VERY ALTERED

CONDITION :
 ___ EXCELL
 ___ GOOD
 ___ FAIR
 ___ POOR

STORIES : 2
 ROOF STYLE : Flat
 WINDOWS : Rectangular 1/1
 FOUNDATION :

STRUCTURAL SYSTEM : Brick
 PRIMARY EXTERIOR : Brick
 SECONDARY EXTERIOR :

ADDITIONAL COMMENTS : Corbelled brick cornice, light brown brick.

ALTERATIONS : Storefront altered, window opening appears to have been altered.

OPEN TO PUBLIC : ___ YES ___ NO LIMITED

BACKGROUND & SIGNIFICANCE

ARCHITECT :
 CONTRACTOR :

ORIGINAL OWNER :

HISTORIC BACKGROUND :

SOURCES :

STATEMENT OF SIGNIFICANCE :

Faribault Commercial Historic District

Street No **Street Name****SHPO No****Property Name****Current Owner****PIN****Zone****UTM Easting****UTM Northing****USGS Map****Township****Range****Section****Quarter****Q Q****Legal Description****Historic Use****Current Use**

Description

Architectural Style**Stories****Architect****Contractor****Primary Exterior****Foundation****Roof Materials****Roof Form****Integrity****Condition****Narrative Description**

This is a two-story brick commercial building that follows a common form within the district. The street façade measures 22 feet across, the full lot width. On the street level, there are three bays. The central bay is a recessed single door entry. On either side are fixed plate glass windows. The framing is a dark anodized aluminum. The bulkhead is brick. The transom space is filled with metal panels, but the steel supporting beam is expose. On the second floor there are two bays, each with paired symmetrically placed windows, double sash, with one over one lights. There is a stone sill under each window. Above the windows the wall ends with a corbeled brick cornice.

Faribault Commercial Historic District

Street No	Street Name	SHPO No	Property Name
324	CENTRAL AVE	RC-FAC-644	

History

Date Built	Date Source	Original Owner
1884 ca.	Historic Properties Survey, 1987	

Historical Background

In 1911 this was the home of Olin C. Oscar's Books and Stationary Store. Upstairs, in 1902, John LeCrone had law offices.

Sources

Historic Properties Survey, 1987; Polk City Directory, Faribault; Faribault HPC Property Files

Historic Context

Commerce

NRHP Current	Local District Current	NRHP Recommend	Contributing
No	Yes	Yes	Contributing

Surveyed by Daniel J. Hoisington October, November 2012

Faribault Commercial Historic District

Street No	Street Name	SHPO No	Property Name
324	CENTRAL AVE	RC-FAC-644	

