



**Planning Commission Work Session
Monday, January 5, 2026 at 6:00 PM
Public Meeting Room**

AGENDA

- 1. Call to Order**
- 2. Items for Discussion**
 - A. Potential Mixed Use Project between 217 and 223 Central Ave - Hill Block
- 3. Routine Business**
- 4. Future Discussion**
- 5. Adjournment**

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Planning Commission Work Session Memorandum

TO: Planning Commission
THROUGH: David Wanberg, CED Director
FROM: Harry Davis, City Planning Manager
MEETING DATE: January 5, 2026
SUBJECT: Potential Mixed Use Project between 217 and 223 Central Ave - Hill Block

Background:

City Staff requests that the Planning Commission provide feedback and guidance to a potential applicant for a mixed-use project on three properties between 217 and 223 Central Ave.

A potential developer initiated discussions with city staff about reusing the buildings at 217-223 Central Avenue for commercial and residential. Various tenants have occupied one or more of the three properties, including the Alano Club. A business incubator and photography studio are the current principal tenants. The three properties total approximately 16,000 square feet and zoned CBD, Central Business District, with adjacent all properties zoned CBD and occupied by commercial and residential uses.

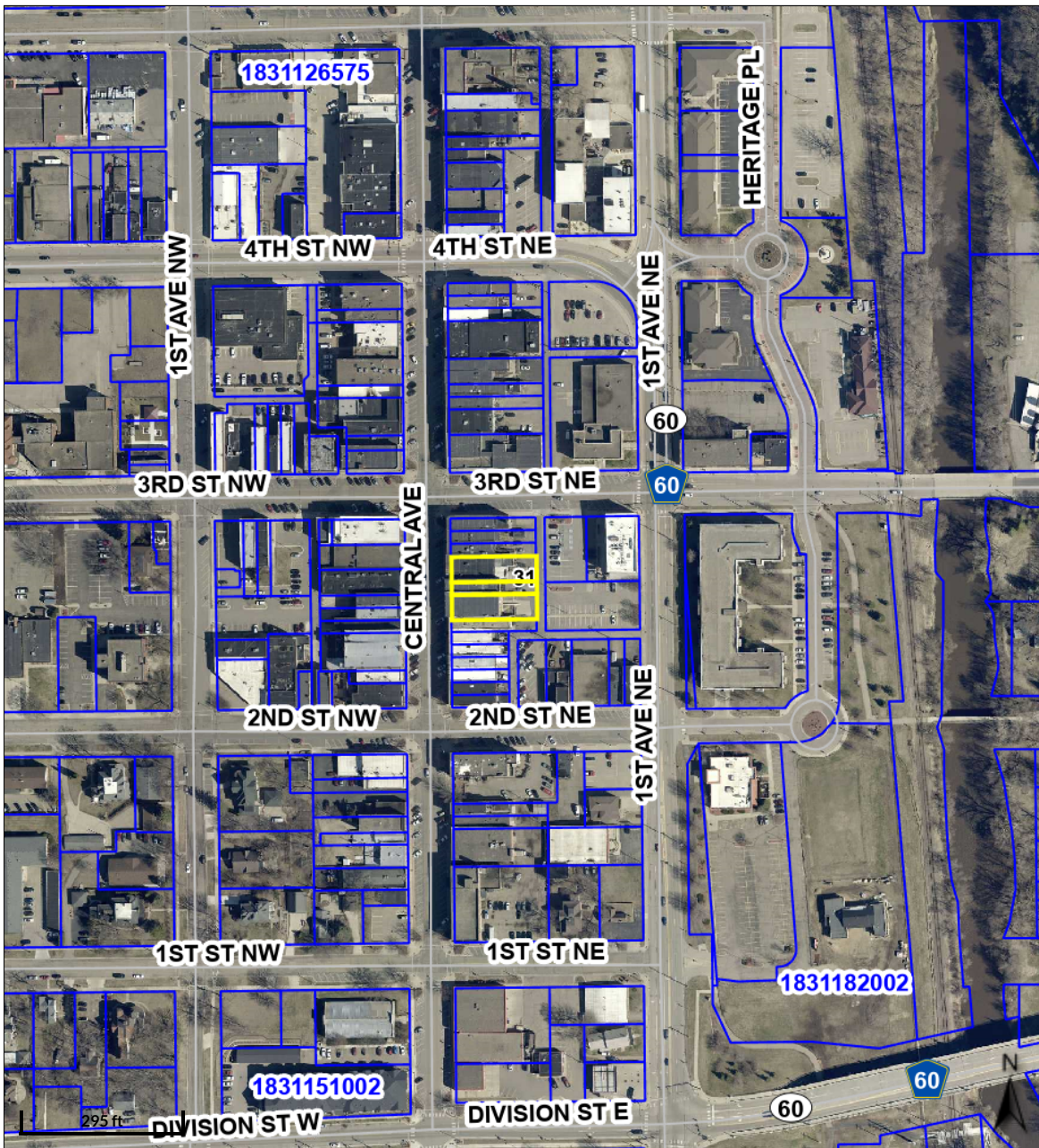
The applicant would like to remodel space on the ground floor and in the basement for commercial and reconfigure the second and third floors for residential units. The applicant plans to construct an elevator on the back of one of the buildings and utilize shared corridors via a PUD and CIC plat. The applicant will present the project in more detail during the meeting, but Commissioners may review the project's early building plans in the packet. The applicant will also need approval from the HPC for exterior changes and the State Historic Preservation Office (SHPO) for all changes to the building while trying to maintain its historic integrity for tax credit purposes.

Overall, City Staff is supportive of the project. The project will need a PUD and CIC plat to cover the unique zoning and building constraints along with a variance for dwelling unit sizes. The Planning Commission may wish to provide guidance on any concerns or aspects of the project.

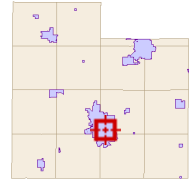
Attachments:

1. City Staff - Aerial Map
2. City Staff - Zoning

3. Applicant - Early Building Plans



Overview



Legend

-  Townships
-  Sections
-  Parcels
-  Roads
-  Road Numbers

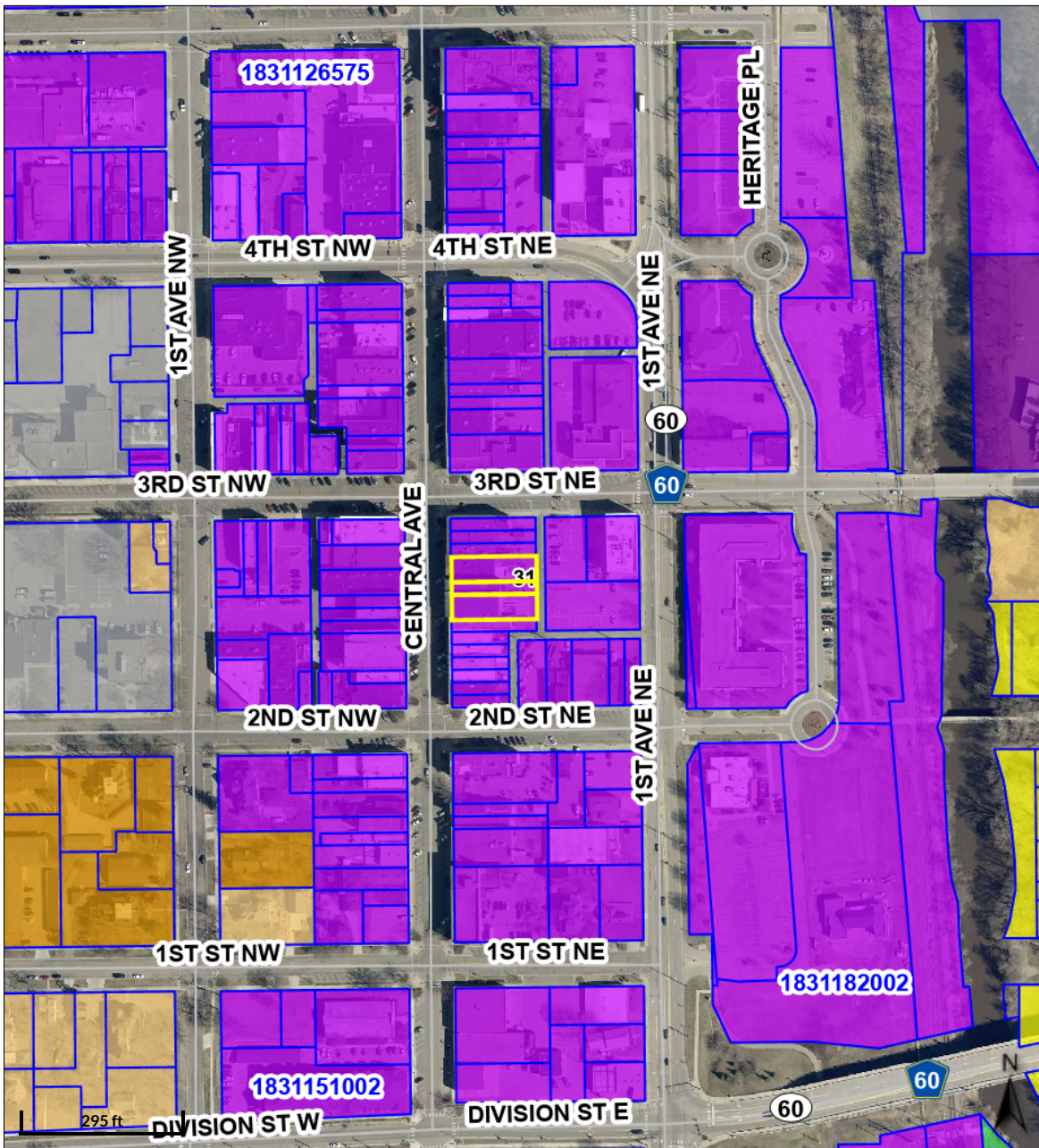
The parcels are the base parcels in Rice County.

Disclaimer: The information in this web site represents current data from a working file which is updated continuously. Information is believed reliable, but its accuracy cannot be guaranteed.

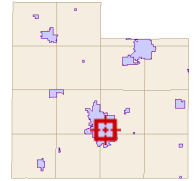
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Overview



Legend

-  Townships
-  Sections
-  Parcels
-  Roads
-  Road Numbers

Faribault Zoning

-  C-1
-  C-2
-  C-3
-  CBD
-  I-1
-  I-2
-  I-P
-  O
-  P-I
-  R-1
-  R-1A
-  R-2
-  R-3
-  R-4
-  RM
-  TUD

The parcels are the base parcels in Rice County.

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HPD PORTFOLIO

BUILDING ADDITION & RENOVATIONS

217 / 219 / 221 / 223 CENTRAL AVENUE NORTH
FARIBAULT MINNESOTA 55021



WEST PERSPECTIVE ELEVATION



EAST PERSPECTIVE ELEVATION



GENERAL ARCHITECTURAL NOTES

- ALL WORK TO CONFORM TO FEDERAL, STATE, MUNICIPAL CODES AND REGULATIONS.
- CONTRACTOR SHALL STRICTLY ADHERE TO STATE AND FEDERAL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
- REFER TO AND COORDINATE WITH SPECIFICATIONS, PROJECT MANUAL, MASTER (PM) AND ALL OTHER STANDARD DOCUMENTS IF PROVIDED.
- BUILDING SHALL BE EQUIPPED WITH A WPA 13 FIRE SUPPRESSION SYSTEM. PLANS AND SPECIFICATIONS SHALL BE SUBMITTED BY THE FIRE SUPPRESSION CONTRACTOR TO ADRMOR AND AUTHORITY HAVING JURISDICTION FOR APPROVAL PRIOR TO INSTALLATION.
- ELEVATOR PLANS AND SPECIFICATIONS SHALL BE SUBMITTED BY CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.
- DO NOT SCALE THE DRAWINGS FOR CONSTRUCTION PURPOSES. USE PLAN INFORMATION, DIMENSIONAL DETAILS, SHOP DRAWINGS AND FIELD VERIFICATION.
- UNENLARGED PLANS SHALL BE USED FOR CONSTRUCTION AND MATERIAL INSTALLATION ORIENTATION. IF UNENLARGED FLOOR PLAN FOR A PARTICULAR AREA IS INCLUDED IN THE DOCUMENTS, THE CONTRACTOR SHALL FOLLOW THE REDUCED SCALE PLANS. IN CASE OF DISCREPANCIES BETWEEN UNENLARGED PLANS AND ANY OTHER DOCUMENTS, THE CONTRACTOR IMMEDIATELY NOTIFY THE ARCHITECT IMMEDIATELY USING THE SPECIFIED "REQUEST FOR INFORMATION" PROCEDURE. THE CONTRACTOR SHALL NOT BE CONSIDERED FOR ANY WORK COMPLETED FOLLOWING THE SPECIFIED PROCEDURE.
- NUMBERING FOR KEYED NOTES: NOTES MAY BE REMOVED DURING THE COURSE OF THE PROJECT. SO THE NUMBERING OF KEYED NOTES MAY NOT ALWAYS BE SEQUENTIAL.
- IF IT IS RECOMMENDED AND ENCOURAGED THAT CONTRACTOR NOT BE CONSIDERED FOR ANY WORK COMPLETED PRIOR TO SUBMITTING ADO.
- VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING ANY WORK.
- VERIFY ROUGH OPENING SIZES FOR ALL EQUIPMENT, WHETHER OR NOT THE EQUIPMENT IS SUPPLIED AS PART OF THE CONTRACT.
- CUTOFFS FOR MECHANICAL AND ELECTRICAL WORK SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT STANDARD ESCUTCHEON PLATES, COVERS, ETC. WILL ADEQUATELY COVER ROUGH OPENINGS. OVERSIZE OPENINGS SHALL BE REPAIR TO MATCH ADJACENT SURFACES BY THE CONTRACTOR RESPONSIBLE FOR CUT-OUTS.
- ALL SANITARY SEWER CLEANOUTS IN PUBLIC AREA CARPET AREAS ARE TO BE FITTED WITH CARPET INSERTS.
- ALL DRAINAGE OR WASTE MATERIAL BECOMES THE PROPERTY AND RESPONSIBILITY OF THE CONTRACTOR WITH THE EXCEPTION OF SPECIFIED ITEMS DESIGNATED EITHER IN THE PLANS OR VERBALLY REQUESTED BY THE ARCHITECT OR ENGINEERS TO BE RETAINED BY THE OWNER. OFFSITE DISPOSAL OF THE DEMOLISHED OR WASTE ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- LOADS MUST BE REMOVED AND LOADED UP AT THE CONSTRUCTION OF EACH WORK AREA TO PREVENT UNAUTHORIZED PERSONS FROM ACCESS.
- CLEAN UP ALL DEBRIS FROM CONSTRUCTION SITE AND MAINTAIN DAILY CLEANLINESS TO THE SATISFACTION OF THE SUPERINTENDENT AND OWNER OR OWNER'S REPRESENTATIVE.

SYMBOLS LEGEND

	NORTH ARROW		ROOM TAG
	VIEW TITLE		DOOR TAG
	GRIDS		WINDOW TAG
	ELEVATION LEVEL		WALL TAG
	EXTERIOR ELEVATION		FLOOR, CEILING & ROOF ASSEMBLY TAG
	INTERIOR ELEVATIONS		FINISH TAG
	WALL SECTION		EQUIPMENT TAG
	VIEW CALLOUT		CEILING TAG
			CENTERLINE
			KEYNOTE TAG (NEW CONSTRUCTION)
			KEYNOTE TAG (DEMOLITION)
			REVISION TAG

DEFERRED SUBMITTALS

THE FOLLOWING DESIGNS ARE BY OTHERS AND SUBMITTALS SHALL BE COORDINATED BY THE OWNER:

- ELEVATOR
- PRE-FABRICATED ROOF TRUSSES
- PRE-FABRICATED FLOOR TRUSSES

SEPERATE PERMITS

THE FOLLOWING DESIGNS ARE BY OTHERS AND SHALL BE PERMITTED SEPARATELY:

- FIRE SUPPRESSION SYSTEM
- BUILDING EXTERIOR SURGE

PROJECT TEAM	SHEET INDEX
OWNERS REP REBOUND REAL ESTATE 527 PROFESSIONAL DRIVE NORTHFIELD MN 55057 ATTN: ALEX BARANAK (952) 351-1723	GENERAL G001 COVER SHEET G010 SHORT FORM SPECIFICATIONS G011 SHORT FORM SPECIFICATIONS G101 LIFE SAFETY PLANS & SCHEDULES G102 LIFE SAFETY PLANS
CIVIL ENGINEER STRUCTURAL ENGINEER TEKTON ENGINEERS 105 4th STREET EAST NORTHFIELD MN 55057 ATTN: PERI HANSEN (952) 300-3340	STRUCTURAL S010 GENERAL STRUCTURAL NOTES S011 SCHEDULES S100 FOUNDATION PLAN S111 1st FLOOR FRAMING PLAN S112 2nd FLOOR FRAMING PLAN S113 3rd FLOOR FRAMING PLAN S114 3rd FLOOR LOFT FRAMING PLAN S115 ROOF FRAMING PLAN
LANDSCAPE ARCHITECT ARCHITECT NILE, INC. 413 WACOUTA STREET, SUITE 435 SAINT PAUL, MN 55101 ATTN: JUDE HALLAMEK (612) 998-6212	ARCHITECTURE A001 NOTES, SYMBOLS & ABBREVIATIONS A002 WALL, FLOOR & ROOF ASSEMBLIES A0100 ARCHITECTURAL SITE PLAN A0101 LOWER & FIRST FLOOR DEMO PLANS A0102 SECOND & THIRD FLOOR DEMO PLANS A0201 EXISTING EXTERIOR ELEVATIONS A101 LOWER LEVEL & FIRST FLOOR PLANS A102 SECOND & THIRD FLOOR PLANS A110 ROOF PLAN A121 REFLECTED CEILING PLANS A201 EXTERIOR ELEVATIONS A202 EXTERIOR ELEVATIONS A203 BUILDING EXTERIOR DETAILS A331 VERTICAL CIRCULATION ELEVATOR & STAIRS A332 EXTERIOR ELEVATION DETAILS A333 UNIT VERTICAL CIRCULATION PLANS & DETAILS A401 ENLARGED PLANS A421 INTERIOR ELEVATIONS A422 INTERIOR ELEVATIONS A451 217 CENTRAL - LOWER LEVEL ENLGD PLAN & RCP A452 217 CENTRAL - 2nd FLR ENLGD PLAN & RCP A453 219 CENTRAL - 2nd & 3rd ENLGD PLANS & RCP A454 221 CENTRAL - 2nd FLR ENLGD PLAN & RCP A455 217 CENTRAL - 3rd FLR ENLGD PLAN & RCP A456 217 CENTRAL - 3rd FLR LOFT ENLGD PLAN & RCP A461 UNIT INTERIOR KITCHEN ELEVATIONS A462 UNIT INTERIOR BATHROOM ELEVATIONS A463 INTERIOR DETAILS A601 DOOR & FRAME SCHEDULES A610 ROOM FINISH SCHEDULE & DETAILS
GENERAL CONTRACTOR NCC BUILDERS 1610 RIVERVIEW LANE NORTHFIELD MN 55057 ATTN: ADAM STEFFL (952) 646-4037	
MECHANICAL, PLUMBING, ELECTRICAL & FIRE PROTECTION DESIGN SUBMITTED UNDER SEPERATE COVER BY CICS DESIGN BUILD CONSULTANTS	

HPD PORTFOLIO

BUILDING ADDITION & RENOVATIONS

217 / 219 / 221 / 223 CENTRAL AVENUE NORTH
FARIBAULT MINNESOTA 55021

REV DATE DESCRIPTION

PROJECT NUMBER: 24009
DRAWN BY: PSH
CHECKED BY: JWH
ISSUED FOR PERMIT: TBD

COVER SHEET

G001

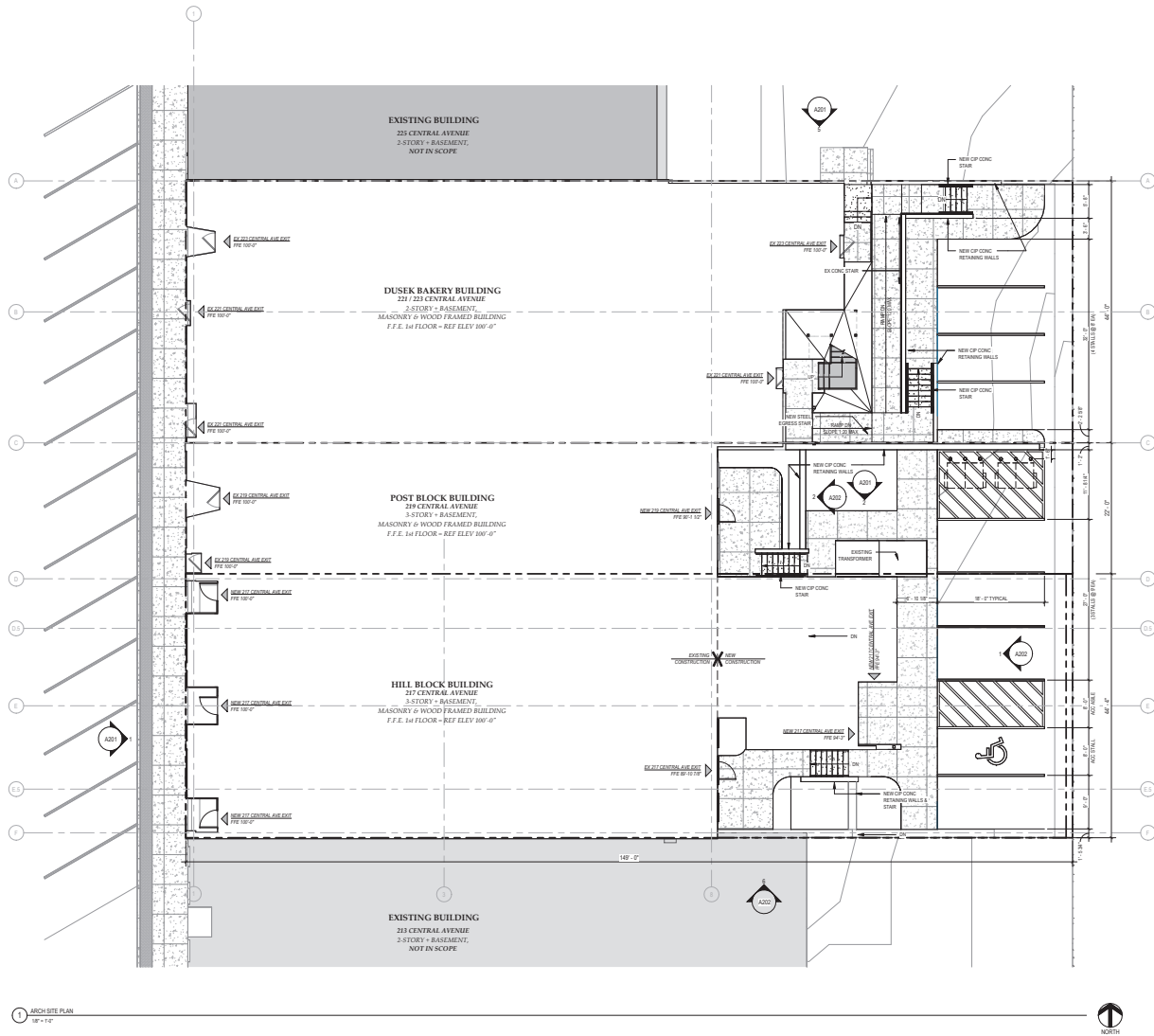
85 % PROG. SET
- SHPO REVIEW
10/13/2025

NOT FOR
CONSTRUCTION

NORTH DAKOTA
P.O. BOX 1938
Fargo, ND 58103
(701) 295-1350

MINNESOTA
413 Wacouta Street, Suite 435
Saint Paul, MN 55101
(612) 327-0646

www.WEARENILE.com



UNIT INFORMATION:				
SIZE	STU	2BR	3BR	TOTAL
STUDIO	8	0	0	8 (25%)
ONE BEDROOM	14	13	13	40 (80%)
TWO BEDROOM	8	9	9	26 (50%)
TOTAL	30	22	22	74

BUILDING INFORMATION:		AREA
FLOOR	35,000 SQF	
FIRST FLOOR	35,000 SQF	
SECOND FLOOR	35,000 SQF	
THIRD FLOOR	35,000 SQF	
TOTAL	105,000 SQF	

NILE

NORTH DAKOTA
 P.O. BOX 1938
 Fargo, ND 58103
 (701) 291-1300
 MINNESOTA
 413 Wacosta Street, Suite 405
 Saint Paul, MN 55101
 (612) 327-0644
www.WEARENILE.COM

85 % PROG. SET

- SHPO REVIEW

10/13/2025

NOT FOR CONSTRUCTION

HPD PORTFOLIO

BUILDING ADDITION & RENOVATIONS

217 / 219 / 221 / 223 CENTRAL AVENUE NORTH
FARGO, MINNESOTA 55102

REV	DATE	DESCRIPTION

PROJECT NUMBER: 24009

DRAWN BY: PSH

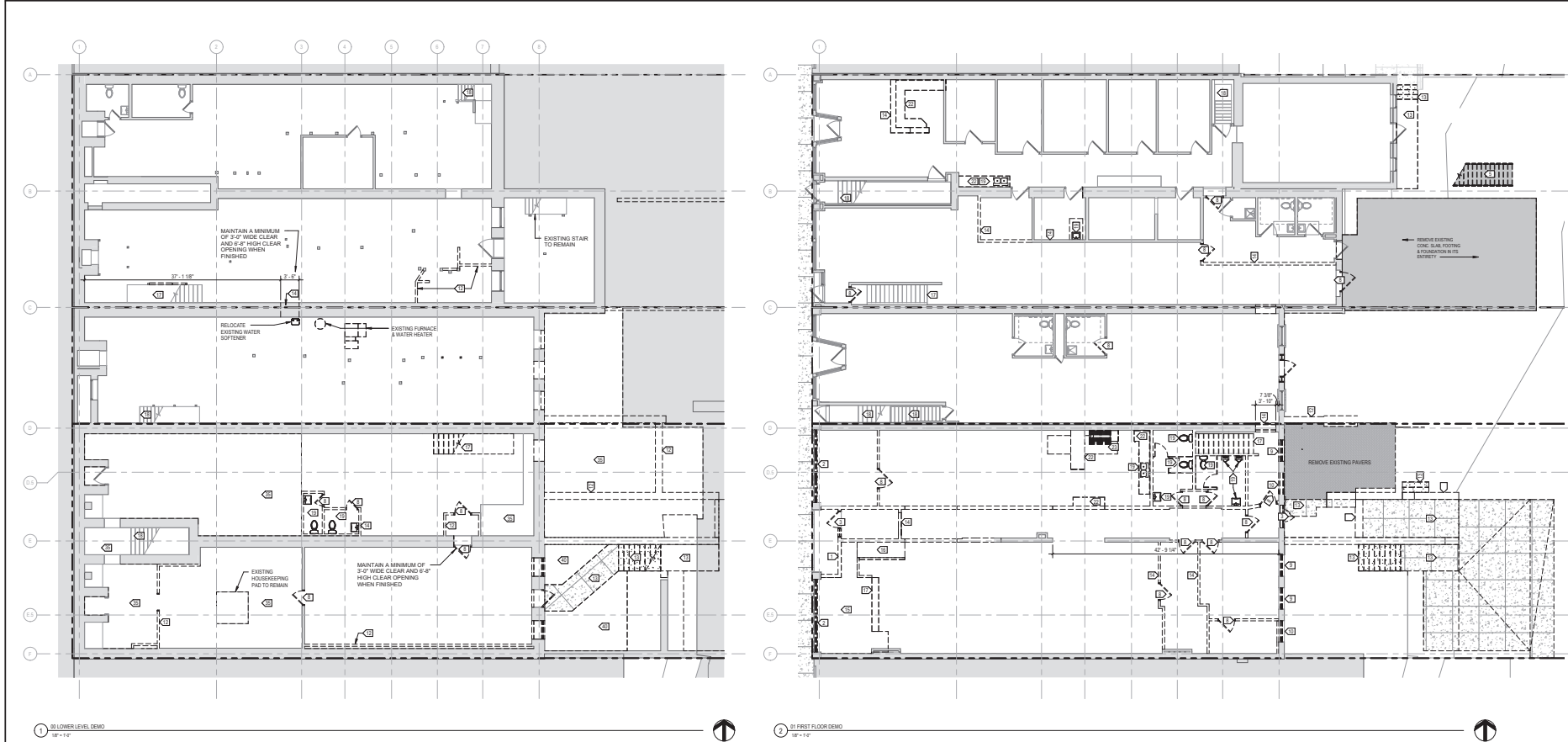
CHECKED BY: JWH

ISSUED FOR PERMIT: TBD

ARCHITECTURAL SITE PLAN

AS100

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DEMOLITION KEY LEGEND

- 1. REMOVE EXISTING KEYWOOD IN ITS ENTIRETY & PREP FOR NEW STOREFRONT.
- 2. REMOVE EXISTING STOREFRONT IN ITS ENTIRETY & PREP FOR NEW STOREFRONT.
- 3. REMOVE EXISTING DOOR & FRAME IN ITS ENTIRETY & PREPARE FOR NEW STOREFRONT.
- 4. REMOVE EXISTING FIRE ESCAPE PLATFORM & LADDER IN ASSOCIATED COMPONENTS & CONC. SLAB @ BASE (IF EXISTS) IN ITS ENTIRETY. PATCH WALL AS REQUIRED.
- 5. REMOVE EXISTING METAL STAIRS IN ASSOCIATED COMPONENTS & CONC. SLAB @ BASE (IF EXISTS) IN ITS ENTIRETY. PATCH WALL AS REQUIRED.
- 6. REMOVE EXISTING LEAN-TO ADDITION: WALLS, WINDOWS, ROOF & POST IN ITS ENTIRETY. PREP FOR NEW ROOFING MATERIALS.
- 7. CAREFULLY REMOVE EXISTING PARKING AT EXTERIOR FACE BRICK & PATCH WALL AS REQUIRED.
- 8. REMOVE EXISTING DOOR & FRAME SYSTEM IN ITS ENTIRETY. SALVAGE DOOR FOR REUSE (WHERE FEASIBLE). PREP FOR NEW DOOR & FRAME OPENING / INFILL. SEE PLANS AND ELEVATIONS FOR LOCATIONS.
- 9. REMOVE EXISTING WINDOW IN ITS ENTIRETY. PREP FOR NEW WINDOW. PROVIDE WINDOW W/ OPENING STOP TO ALLOW FOR 4" MAX. OPEN POSITION.
- 10. REMOVE EXISTING EPS/PLYWOOD FINISH OVER EXISTING WINDOW & PREPARE FOR NEW WINDOW. PROVIDE WINDOW W/ OPENING STOP TO ALLOW FOR 4" MAX. OPEN POSITION.
- 11. CAREFULLY REMOVE EXISTING EPS/PLYWOOD @ EXTERIOR FACE BRICK.
- 12. REMOVE EXISTING DOCK SURROUND & ROOF IN ITS ENTIRETY.
- 13. REMOVE CONC. WALK & STAIRS/RAMP AND ASSOCIATED HANDICAP RAIL IN ITS ENTIRETY.
- 14. REMOVE ALL COMPONENTS OF EXISTING WALL OR PORTION OF WALL AS INDICATED IN FLOOR PLAN FROM TOP TO BOTTOM, SHOWN DASHED, IN ITS ENTIRETY. SHAVED WALLS TO REMAIN. PATCH AS REQUIRED.
- 15. REMOVE EXISTING WOOD RAISED PLATFORM FLOOR IN ITS ENTIRETY.
- 16. REMOVE EXISTING WOOD FRAME RAMP IN ITS ENTIRETY.
- 17. REMOVE EXISTING INTERIOR WOOD FRAMED STAIR CONSTRUCTION AND ASSOCIATED HANDRAILS.
- 18. EXISTING STAIR, GUARDRAIL/HANDRAIL TO REMAIN. TREADS TO BE RESTORED AND/OR REPAIR AS REQUIRED FOR CODE COMPLIANCE. PROTECT AS REQUIRED.
- 19. REMOVE EXISTING PLUMBING FIXTURES & RELATED PIPING. CAP ALL ABANDONED SUPPLY & WASTE LINES BELOW FINISHED FLOOR. COORDINATE W/ MECHANICAL DESIGN/BUILD DOCUMENTS.
- 20. REMOVE EXISTING FLOOR FINISH AND WALL BASE (IF EXISTING) AND/OR PREPARE SUBSTRATE FOR NEW.
- 21. REMOVE EXISTING FLOOR FINISH AND/OR PREPARE SUBSTRATE FOR NEW.
- 22. REMOVE EXISTING CABINETS, COUNTERTOPS, MOUNTING BRACKETS (IF EXISTS), & BASE.
- 23. REMOVE EXISTING APPLIANCES - SEE MECHANICAL UNDER SEPARATE COVER.
- 24. EXISTING WOOD COLUMN TO REMAIN. RESTORE FRISP AS REQUIRED.
- 25. EXISTING WOOD HANDRAIL TO REMAIN. PATCH & PROTECT AS REQUIRED/CAREFULLY REMOVE EXISTING TRIM/CROWN PANELS, TRIM PANELS AND CROWN MOULDING FOR SALVAGE & REINSTALLATION. SEE REFLECTED CEILING PLAN SHEETS FOR LOCATIONS.
- 26. DEMO FLOORING AS REQUIRED FOR PLUMBING LINES TO NEW PLUMBING FIXTURES (SEE FLOOR PLANS FOR EXTENTS).
- 27. REMOVE EXISTING ACQUISITION CEILING PANELS AND PREPARE FOR INSTALLATION OF NEW (SEE REFLECTED CEILING PLAN SHEETS). CONFIRM EXTENT OF MECH/ELEC DEMO W/ MECH/ELEC DESIGN/BUILD DOCUMENTS.
- 28. SHUTOUT AND REMOVE PORTION OF EXISTING CONC. FLOOR SUBSTRUCTURE, WOOD JOISTS, ALL OTHER LEVELS FOR PLUMBING. COORDINATE W/ PLUMBING DESIGN/BUILD DOCUMENTS, UNDER SEPARATE COVER.
- 29. DEMOLISH PORTION OF EXISTING ROOF/CEILING STRUCTURE FOR NEW ROOF ACCESS AND W/RAIP IN PROTECTIVE COVER. LABEL ALL PIECES WITH ORIGINAL LOCATION AND WHERE THEY ARE TO BE INSTALLED IN NEW CONSTRUCTION. STORE IN A SECURE, SAFE, DRY, ENCLOSED AREA. PRIOR TO INSTALLATION RETRIEVE THE ITEMS, CLEAN AND PREPARE THEM FOR REINSTALLATION. AFTER INSTALLATION, COORDINATE ALL FINISH WORK THAT APPLIES TO THE SALVAGED ITEM SO THAT IT MATCHES LIKE MATERIALS IN THE AREA IT IS LOCATED.
- 30. REMOVE EXISTING MECHANICAL SHAFT, EQUIPMENT OR ANY RELATED ABANDONED PERIODIC STRUCTURE WORK. SALVAGE ANY ORIGINAL GRILLES ORIGINAL FOR RE-USE. COORDINATE W/ MECHANICAL DESIGN/BUILD DOCUMENTS.
- 31. REMOVE EXISTING TOILET PARTITIONS & TOILET ACCESSORIES.
- 32. LOCATION OF EXISTING ELEC SWITCH GEAR & MAIN SERVICE TO REMAIN. COORDINATE W/ ELECTRICAL DESIGN/BUILD DOCUMENTS.
- 33. REMOVE ALL EXISTING LIGHT FIXTURES. COORDINATE W/ ELECTRICAL DESIGN/BUILD DOCUMENTS.
- 34. REMOVE EXISTING LANDSCAPING - SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION.
- 35. REMOVE EXISTING WOOD FRAMED FLOORING IN ITS ENTIRETY. INSTALL NEW 4" CONC. SLAB. SEE STRUCT FOR ADDITIONAL INFORMATION.

GENERAL DEMOLITION NOTES

1. THIS DRAWING IS INTENDED TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK REQUIRED. VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE THE EXTENT OF WORK TO REMAIN WITH NEW FLOOR PLAN AND PROJECT SITE PRIOR TO PRICING, FABRICATION AND INSTALLATION. NOTIFY ARCHITECT OF ANY CONFLICTS IMMEDIATELY.
2. WHERE WALLS OR PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ENTIRE WALL OR PARTITION AS WELL AS ANY DUCTS, PIPING, CONDUIT AND OTHER ELEMENTS IN OR ON WHICH THEY OR MAY NOT BE SPECIFICALLY IDENTIFIED UNLESS OTHERWISE NOTED. COORDINATE WITH OWNER ALL EQUIPMENT TO BE SALVAGED.
3. HAZARDOUS MATERIALS SHALL BE CONTROLLED OR ELIMINATED BEFORE DEMOLITION IS STARTED. IF HAZARDOUS MATERIALS ARE ENCOUNTERED BY THE DEMOLITION WORK BEGINS, THE CONTRACTOR SHALL IMMEDIATELY CEASE WORK IN THAT AREA AND NOTIFY THE ARCHITECT.
4. REPAIR/PUTUP OPENINGS IN EXISTING WALLS, PARTITIONS, FLOORS AND CEILINGS WHERE DEMOLITION OCCURS TO MATCH EXISTING ADJACENT FINISH SURFACES. MAINTAIN CODE AND FIRE RATING REQUIREMENTS.
5. EXISTING PARTITIONS TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW PARTITIONS.
6. REMOVE IN ITS ENTIRETY ANY MECHANICAL, PLUMBING OR ELECTRICAL EQUIPMENT THAT HAS BEEN, OR WILL BE, ABANDONED WITHIN THE CEILING SPACE.
7. BUILDING IS TO BE UNOCCUPIED THROUGHOUT CONSTRUCTION. AVOID DISRUPTION TO ADJACENT FLOORS AREAS AS MUCH AS POSSIBLE. KEEP CLOSE TO A LEVEL ACCESSIBLE TO THE OWNER AND LOCAL ORDINANCES.
8. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES.
9. ALL DUCTWORK OR MECHANICAL, WATER, FIRE ALARM AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER.
10. ALL ITEMS INDICATED TO BE REMOVED FROM EXISTING WALLS (CORNER GUARDS, MIRROR, MILLWORK, TRIM, ETC.) SHALL BE RETURNED TO THE OWNER, UNLESS NOTED OTHERWISE. PATCH WALLS AS REQUIRED FOR NEW PARTITIONS.
11. PROVIDE FIRE EXTINGUISHERS PER CODE AT ALL TIMES THROUGHOUT DEMOLITION/CONSTRUCTION AREAS.
12. PROVIDE A SAFE AND CODE-COMPLIANT MEANS OF EGRESS THROUGH-AND-AROUND THE BUILDING AND SITE AT ALL TIMES.
13. PRIOR TO REMOVING FURNITURE, EQUIPMENT, AND CASEWORK, CONTRACTOR TO VERIFY WITH OWNER WHICH ITEMS ARE TO BE SALVAGED AND THEIR STORAGE LOCATIONS.
14. COORDINATE DEMOLITION OF MECHANICAL AND ELECTRICAL ITEMS WITH THE MECHANICAL AND ELECTRICAL DRAWINGS PRODUCED BY DESIGNABLE ENGINEERS UNDER SEPARATE CONTRACT.
15. SALVAGE MATERIALS (IDENTIFY SALVAGED ITEMS SHOWN ON THE DRAWINGS). REMOVE ITEMS IN THE DENTIST POSSIBLE MANNER AND W/RAIP IN PROTECTIVE COVER. LABEL ALL PIECES WITH ORIGINAL LOCATION AND WHERE THEY ARE TO BE INSTALLED IN NEW CONSTRUCTION. STORE IN A SECURE, SAFE, DRY, ENCLOSED AREA. PRIOR TO INSTALLATION RETRIEVE THE ITEMS, CLEAN AND PREPARE THEM FOR REINSTALLATION. AFTER INSTALLATION, COORDINATE ALL FINISH WORK THAT APPLIES TO THE SALVAGED ITEM SO THAT IT MATCHES LIKE MATERIALS IN THE AREA IT IS LOCATED.
16. GENTLE REMOVING AND STORAGE OF ITEMS TO BE SALVAGED AS DESCRIBED ABOVE IS THE PREFERRED PRACTICE. WHERE NOT POSSIBLE, TAKE EXTREME CARE TO PROTECT ALL FINISHES, MILLWORK, TRIM OR OTHER ITEMS TO REMAIN IN PLACE DURING CONSTRUCTION PERIOD.
17. SEE NFPA 704 "STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS" (2005) AND NFPA 914 "REHABILITATION AND ADAPTIVE REUSE OF HISTORICAL STRUCTURES" (2001) AS REFERENCE STANDARDS ON THIS PROJECT. COMPLY WITH ALL APPLICABLE PROVISIONS OF BOTH.
18. TAKE THE UTMOST CARE TO PROTECT EXISTING PLASTER WORK TO REMAIN, WHERE POSSIBLE PREVENT EXCESSIVE VIBRATIONS DUE TO CONSTRUCTION WORK FROM EFFECTING AREAS CONTAINING THESE ELEMENTS. PROVIDE PROTECTIVE BARRIERS AND COVERINGS WHERE AT RISK.
19. WHERE INDICATED ON THE FLOOR PLAN, NEW OPENING IN EXISTING WALL, PROVIDE 6" R/C RETURN ON JAMB/HEAD.

HPD PORTFOLIO

BUILDING ADDITION & RENOVATIONS

217 / 218 / 219 / 220 / 221 / 222 / 223 / 224 / 225 / 226 / 227 / 228 / 229 / 230 / 231 / 232 / 233 / 234 / 235 / 236 / 237 / 238 / 239 / 240 / 241 / 242 / 243 / 244 / 245 / 246 / 247 / 248 / 249 / 250 / 251 / 252 / 253 / 254 / 255 / 256 / 257 / 258 / 259 / 260 / 261 / 262 / 263 / 264 / 265 / 266 / 267 / 268 / 269 / 270 / 271 / 272 / 273 / 274 / 275 / 276 / 277 / 278 / 279 / 280 / 281 / 282 / 283 / 284 / 285 / 286 / 287 / 288 / 289 / 290 / 291 / 292 / 293 / 294 / 295 / 296 / 297 / 298 / 299 / 300 / 301 / 302 / 303 / 304 / 305 / 306 / 307 / 308 / 309 / 310 / 311 / 312 / 313 / 314 / 315 / 316 / 317 / 318 / 319 / 320 / 321 / 322 / 323 / 324 / 325 / 326 / 327 / 328 / 329 / 330 / 331 / 332 / 333 / 334 / 335 / 336 / 337 / 338 / 339 / 340 / 341 / 342 / 343 / 344 / 345 / 346 / 347 / 348 / 349 / 350 / 351 / 352 / 353 / 354 / 355 / 356 / 357 / 358 / 359 / 360 / 361 / 362 / 363 / 364 / 365 / 366 / 367 / 368 / 369 / 370 / 371 / 372 / 373 / 374 / 375 / 376 / 377 / 378 / 379 / 380 / 381 / 382 / 383 / 384 / 385 / 386 / 387 / 388 / 389 / 390 / 391 / 392 / 393 / 394 / 395 / 396 / 397 / 398 / 399 / 400 / 401 / 402 / 403 / 404 / 405 / 406 / 407 / 408 / 409 / 410 / 411 / 412 / 413 / 414 / 415 / 416 / 417 / 418 / 419 / 420 / 421 / 422 / 423 / 424 / 425 / 426 / 427 / 428 / 429 / 430 / 431 / 432 / 433 / 434 / 435 / 436 / 437 / 438 / 439 / 440 / 441 / 442 / 443 / 444 / 445 / 446 / 447 / 448 / 449 / 450 / 451 / 452 / 453 / 454 / 455 / 456 / 457 / 458 / 459 / 460 / 461 / 462 / 463 / 464 / 465 / 466 / 467 / 468 / 469 / 470 / 471 / 472 / 473 / 474 / 475 / 476 / 477 / 478 / 479 / 480 / 481 / 482 / 483 / 484 / 485 / 486 / 487 / 488 / 489 / 490 / 491 / 492 / 493 / 494 / 495 / 496 / 497 / 498 / 499 / 500 / 501 / 502 / 503 / 504 / 505 / 506 / 507 / 508 / 509 / 510 / 511 / 512 / 513 / 514 / 515 / 516 / 517 / 518 / 519 / 520 / 521 / 522 / 523 / 524 / 525 / 526 / 527 / 528 / 529 / 530 / 531 / 532 / 533 / 534 / 535 / 536 / 537 / 538 / 539 / 540 / 541 / 542 / 543 / 544 / 545 / 546 / 547 / 548 / 549 / 550 / 551 / 552 / 553 / 554 / 555 / 556 / 557 / 558 / 559 / 560 / 561 / 562 / 563 / 564 / 565 / 566 / 567 / 568 / 569 / 570 / 571 / 572 / 573 / 574 / 575 / 576 / 577 / 578 / 579 / 580 / 581 / 582 / 583 / 584 / 585 / 586 / 587 / 588 / 589 / 590 / 591 / 592 / 593 / 594 / 595 / 596 / 597 / 598 / 599 / 600 / 601 / 602 / 603 / 604 / 605 / 606 / 607 / 608 / 609 / 610 / 611 / 612 / 613 / 614 / 615 / 616 / 617 / 618 / 619 / 620 / 621 / 622 / 623 / 624 / 625 / 626 / 627 / 628 / 629 / 630 / 631 / 632 / 633 / 634 / 635 / 636 / 637 / 638 / 639 / 640 / 641 / 642 / 643 / 644 / 645 / 646 / 647 / 648 / 649 / 650 / 651 / 652 / 653 / 654 / 655 / 656 / 657 / 658 / 659 / 660 / 661 / 662 / 663 / 664 / 665 / 666 / 667 / 668 / 669 / 670 / 671 / 672 / 673 / 674 / 675 / 676 / 677 / 678 / 679 / 680 / 681 / 682 / 683 / 684 / 685 / 686 / 687 / 688 / 689 / 690 / 691 / 692 / 693 / 694 / 695 / 696 / 697 / 698 / 699 / 700 / 701 / 702 / 703 / 704 / 705 / 706 / 707 / 708 / 709 / 710 / 711 / 712 / 713 / 714 / 715 / 716 / 717 / 718 / 719 / 720 / 721 / 722 / 723 / 724 / 725 / 726 / 727 / 728 / 729 / 730 / 731 / 732 / 733 / 734 / 735 / 736 / 737 / 738 / 739 / 740 / 741 / 742 / 743 / 744 / 745 / 746 / 747 / 748 / 749 / 750 / 751 / 752 / 753 / 754 / 755 / 756 / 757 / 758 / 759 / 760 / 761 / 762 / 763 / 764 / 765 / 766 / 767 / 768 / 769 / 770 / 771 / 772 / 773 / 774 / 775 / 776 / 777 / 778 / 779 / 780 / 781 / 782 / 783 / 784 / 785 / 786 / 787 / 788 / 789 / 790 / 791 / 792 / 793 / 794 / 795 / 796 / 797 / 798 / 799 / 800 / 801 / 802 / 803 / 804 / 805 / 806 / 807 / 808 / 809 / 810 / 811 / 812 / 813 / 814 / 815 / 816 / 817 / 818 / 819 / 820 / 821 / 822 / 823 / 824 / 825 / 826 / 827 / 828 / 829 / 830 / 831 / 832 / 833 / 834 / 835 / 836 / 837 / 838 / 839 / 840 / 841 / 842 / 843 / 844 / 845 / 846 / 847 / 848 / 849 / 850 / 851 / 852 / 853 / 854 / 855 / 856 / 857 / 858 / 859 / 860 / 861 / 862 / 863 / 864 / 865 / 866 / 867 / 868 / 869 / 870 / 871 / 872 / 873 / 874 / 875 / 876 / 877 / 878 / 879 / 880 / 881 / 882 / 883 / 884 / 885 / 886 / 887 / 888 / 889 / 890 / 891 / 892 / 893 / 894 / 895 / 896 / 897 / 898 / 899 / 900 / 901 / 902 / 903 / 904 / 905 / 906 / 907 / 908 / 909 / 910 / 911 / 912 / 913 / 914 / 915 / 916 / 917 / 918 / 919 / 920 / 921 / 922 / 923 / 924 / 925 / 926 / 927 / 928 / 929 / 930 / 931 / 932 / 933 / 934 / 935 / 936 / 937 / 938 / 939 / 940 / 941 / 942 / 943 / 944 / 945 / 946 / 947 / 948 / 949 / 950 / 951 / 952 / 953 / 954 / 955 / 956 / 957 / 958 / 959 / 960 / 961 / 962 / 963 / 964 / 965 / 966 / 967 / 968 / 969 / 970 / 971 / 972 / 973 / 974 / 975 / 976 / 977 / 978 / 979 / 980 / 981 / 982 / 983 / 984 / 985 / 986 / 987 / 988 / 989 / 990 / 991 / 992 / 993 / 994 / 995 / 996 / 997 / 998 / 999 / 1000

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(612) 227-0644

www.WEARENILE.com

85 % PROG. SET
- SHPO REVIEW
10/13/2025

NOT FOR
CONSTRUCTION

PROJECT NUMBER: 2409

DRAWN BY: PSH

CHECKED BY: JWH

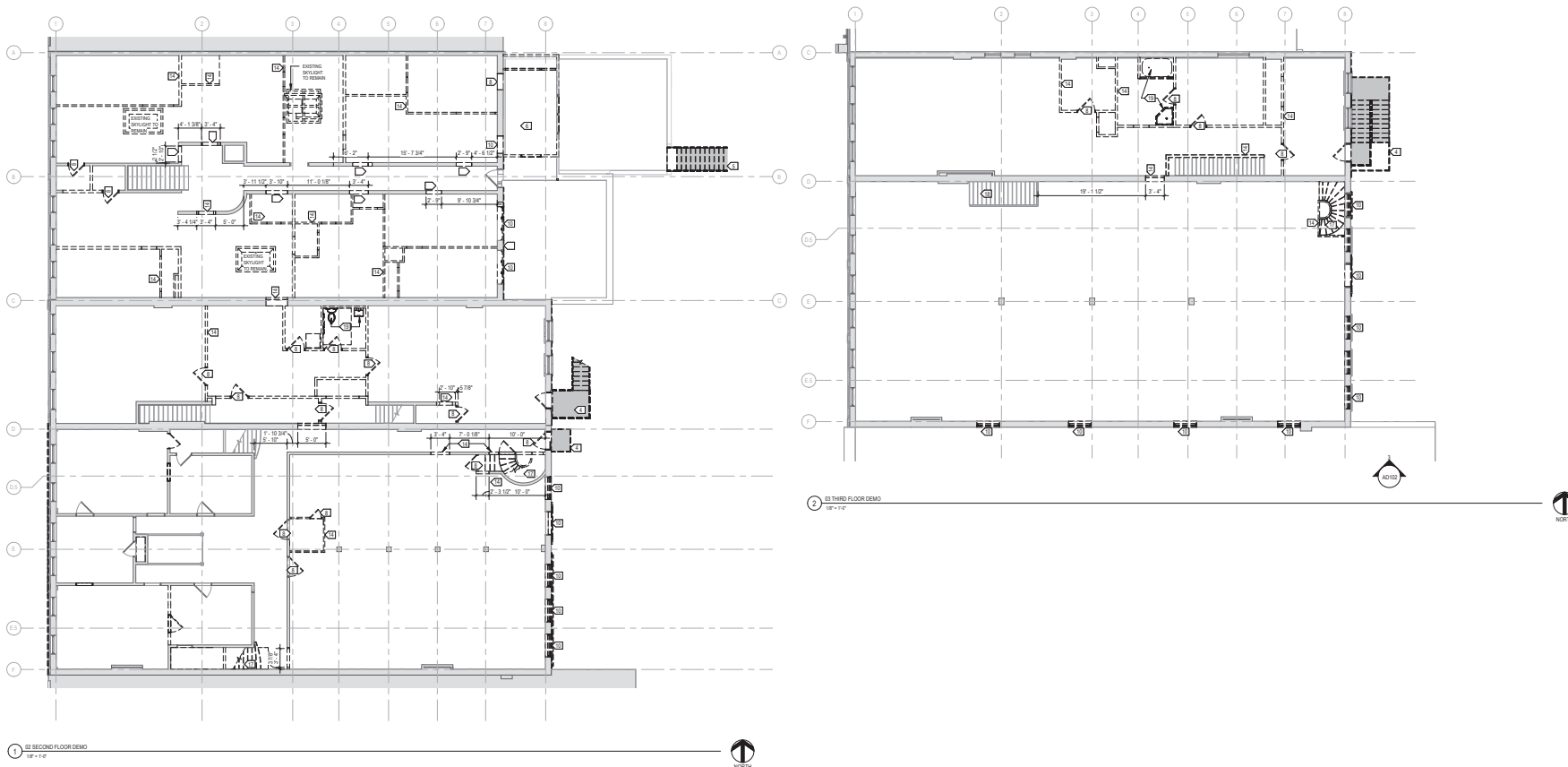
ISSUED FOR PERMIT: TBD

LOWER & FIRST
FLOOR DEMO PLANS

AD101

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Page 8 of 22





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NOT FOR
CONSTRUCTION

HPD PORTFOLIO

BUILDING ADDITION & RENOVATIONS

217 / 218 / 221 / 222 CENTRAL AVENUE NORTH
FARGO, MINNESOTA 58102

REV	DATE	DESCRIPTION

PROJECT NUMBER: 24009

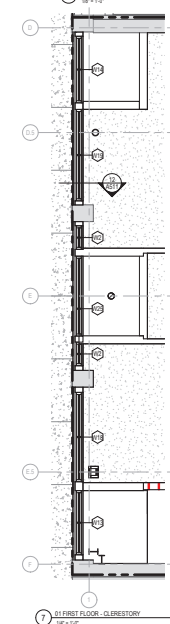
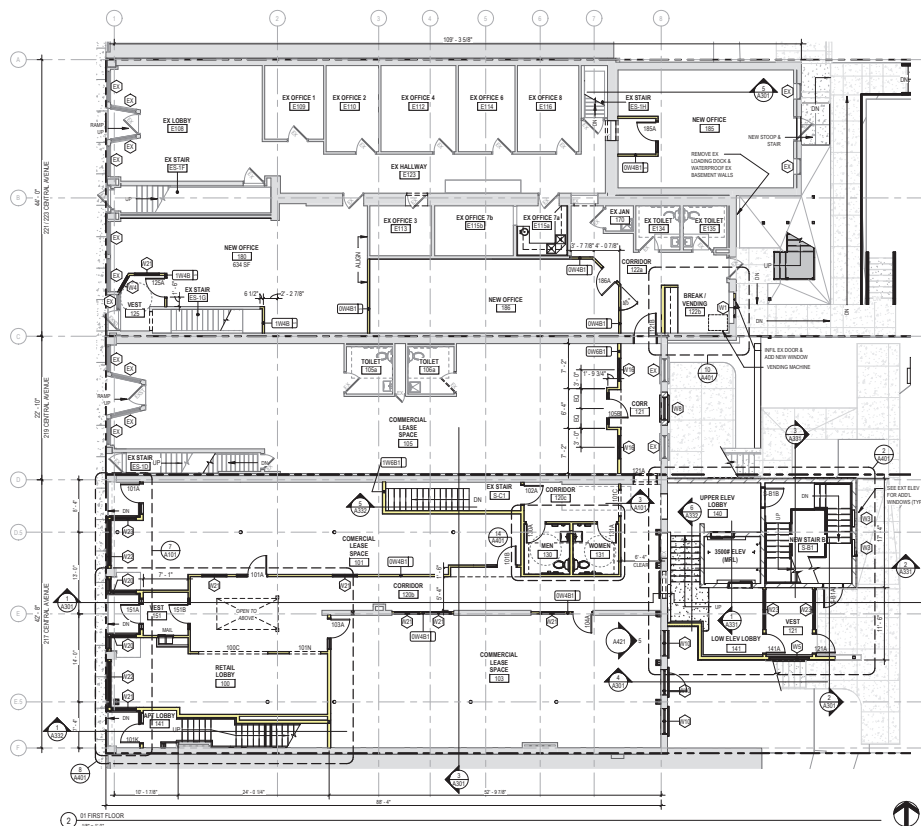
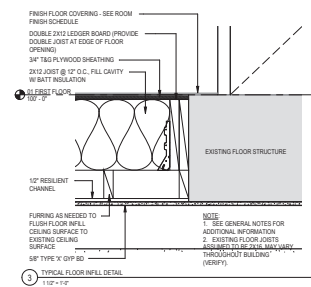
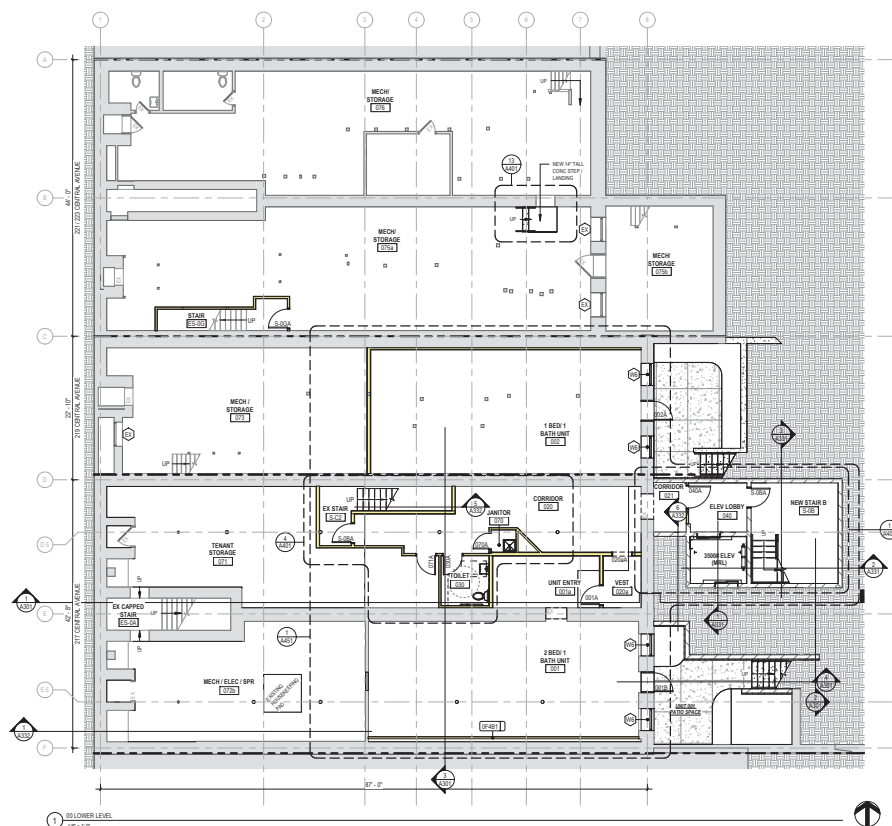
DRAWN BY: PSH

CHECKED BY: JPH

ISSUED FOR PERMIT: TBD

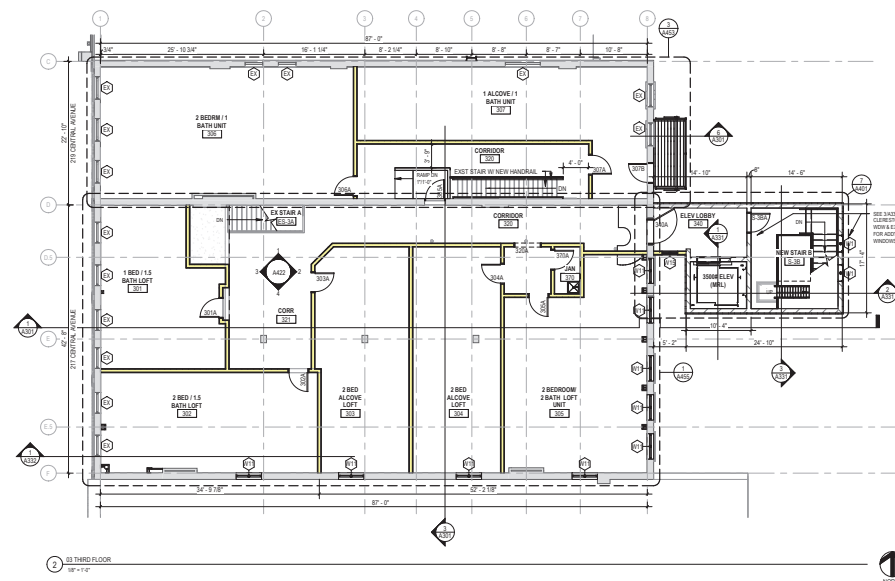
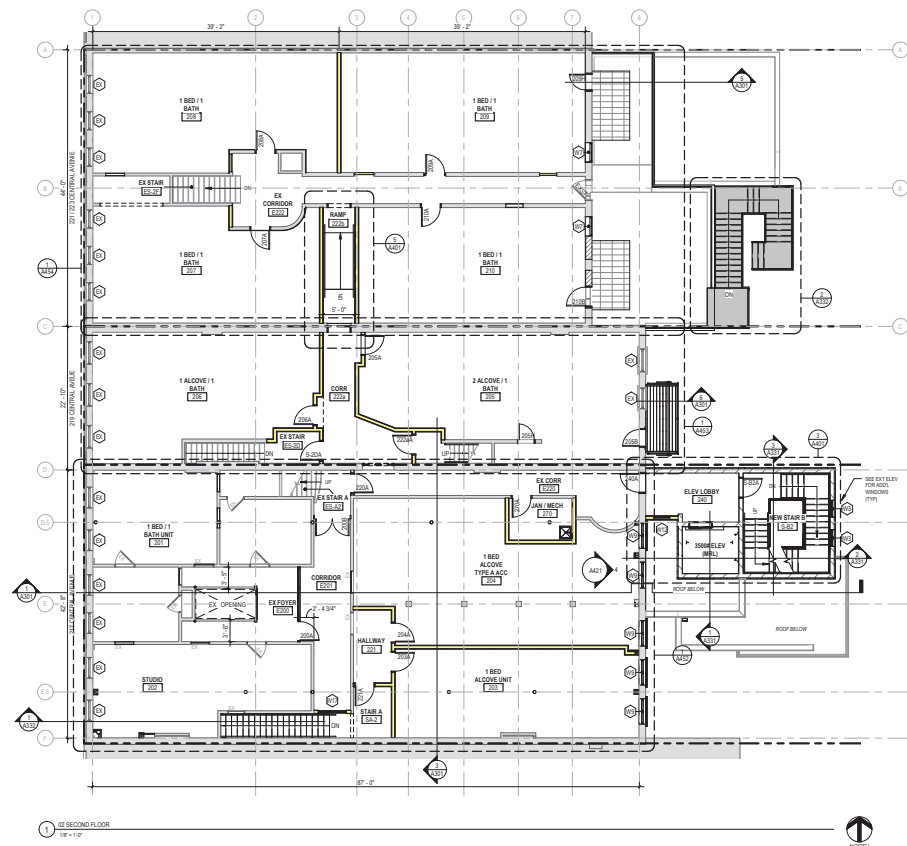
EXISTING EXTERIOR ELEVATIONS

AD201



GENERAL FLOOR PLAN NOTES

- [illegible]

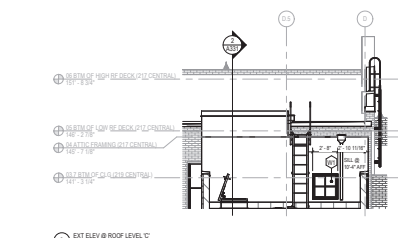


GENERAL FLOOR PLAN NOTES

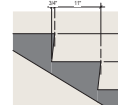
1. THESE GENERAL NOTES APPLY TO THE CONSTRUCTION DOCUMENTS AND SHALL GOVERN UNLESS NOTED OTHERWISE BY GENERAL NOTES OR KEYNOTES ON SPECIFIC DRAWINGS.
2. NOTIFY ARCHITECT PROMPTLY IF CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH THE CURRENT APPLICABLE CODES AND REGULATIONS.
3. NOTIFY ARCHITECT PROMPTLY IF ANY EXISTING CONDITIONS CONFLICT WITH THE CONSTRUCTION DOCUMENTS.
4. COORDINATE ALL PROJECT SCHEDULING WITH OWNER OR AS SPECIFIED AND/OR SHOWN ON THE DRAWINGS.
5. PROVIDE A SAFE MEANS OF EGRESS THROUGH AND AROUND THE BUILDING AND SITE FOR APPLICABLE CODES AT ALL TIMES DURING THE CONSTRUCTION PROCESS. MINIMIZE OBSTRUCTIONS TO ADJACENT AREAS AS MUCH AS POSSIBLE.
6. MINIMIZE NOISE TO A LEVEL ACCEPTABLE TO THE OWNER. SCHEDULE TASKS CREATING EXCESSIVE NOISE OR NEAR SENSITIVE AREAS WITH THE OWNER.
7. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES.
8. ALL INSTALLATION OF EXISTING OR NEW MECHANICAL, ELECTRICAL, OR FIRE ALARM AND/OR DETECTION SYSTEMS SHALL BE COORDINATED WITH OWNER AND LOCAL FIRE AUTHORITIES.
9. FOR EXTERIOR WALLS, ALL DIMENSIONS ARE FROM FACE OF FOUNDATION TO FACE OF FOUNDATION OR FROM FACE OF EXTERIOR MASONRY TO FACE TO FACE OF EXTERIOR MASONRY. FOR INTERIOR WALLS, ALL CENTERLINE DIMENSIONS ARE FROM CENTER OF ASSEMBLY TO CENTERLINE OF ASSEMBLY. UNLESS NOTED OTHERWISE WHERE RESIDENT CHANNELS ARE PRESENT, LOCATE ON THE PUBLIC/COMMON SIDE WHERE POSSIBLE. OVERALL RESIDENT UNIT DIMENSION ARE TAKE TO FACE OF FINISH MATERIAL.
10. SEE SHEET AND FOR WALL TYPE ASSUMES. UNLESS NOTED OTHERWISE, ALL WALLS ARE TO BE TYPE "M".
11. UNIT WALLS SHOWN BLUE TO BE 6" FRESH HEIGHT A.F.F.
12. PROVIDE DRAFT STOPS IN THE FLOOR JOINTS AND SPACE SUCH THAT THE RESIDENT UNITS ARE ISOLATED FROM COMMON AREAS AS WELL AS FROM EACH OTHER. SEE DETAILS FOR TYPICAL DRAFT STOP CONSTRUCTION.
13. VERIFY LOCATION, SIZE AND WALL THICKNESS REQUIRED TO RECESS MECHANICAL AND ELECTRICAL ITEMS AND MAINTAIN FIRE RATING REQUIREMENTS OF THE WALL IF REQUIRED AT BUILT IN ITEMS SUCH AS ELECTRICAL PANELS, DUCTS, PIPES, UNIT VENTILATORS, FIRE EXTINGUISHERS, ETC.
14. CUT OUTS FOR MECHANICAL AND ELECTRICAL ITEMS SHALL BE ACCOMPANIED IN SUCH A MANNER THAT STANDARD ESOTHECON PLATE, COVERES, ETC. WILL ADEQUATELY COVER ROUGH OPENINGS. APPLY FIRE RATED SEALANT AT FINISHED CONDITIONS.
15. WHERE PIPING, STRUCTURAL COMPONENTS, DUCTS OR CONDUITS PASS THROUGH WALLS, ALL OPENINGS SHALL BE SEALED BOTH SIDES WITH GROUT, PLATE, OR CRITICAL TAPE AND COMPOUND. APPLY FIRESTOP MATERIAL AND FIRE RATED SEALANT AS REQUIRED AT RATED WALLS. FIRESTOP ALL OPENINGS THROUGH ALL FLOORS AND WALLS IN ACCORDANCE WITH ALL APPLICABLE CODES.
16. METAL BLOODING (WOOD OR METAL) IN WALLS WHERE FIXTURES, ACCESSORIES, EQUIPMENT OR CABINETS ARE TO BE MOUNTED. EXAMPLES INCLUDE, BUT NOT LIMITED TO: BENCH WORK, SHELVES, SINK DISPENSERS, COUNTERS, GRAB BARS, TOWEL DISPENSERS, LAUNDRIES, WATER CLOSETS, COAT RACKS, DRINKING FOUNTAINS IF PROVIDED, HANDRAILS, CHAIR RAILS, DISPLAY BRACKETS, CABINETS, WALL MOUNTED TELEVISIONS, MAGNETIC HOLD-OPEN, ETC. PROVIDE BLOODING FOR FUTURE GRAB BARS IN BATHROOMS AS INDICATED ON DRAWINGS.
17. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TRADES, ALL ASPECTS OF THE CONTRACT AND TO PROVIDE A COMPLETE AND FUNCTIONING PROJECT. ANY REFERENCES TO OTHER TRADES OR DIVISIONS ARE SUGGESTIONS ONLY.
18. ALL STRUCTURAL STEEL TO BE NONCOMBUSTIBLE AND FIRE PROTECTED BY DETAILS OR SWEET CASES.
19. ALL FINISHES ARE PER THE FINISH SCHEDULE WHETHER OR NOT THEY ARE NOTED ON THE PLANS.
20. FINISH ACCESS PANELS REQUIRED AT ALL TIMES AND SPACES.
21. SAFETY GLAZING IS REQUIRED FOR GLAZING WITHIN 24 INCHES OF A DOOR SWING, WHERE THE EXPOSED EDGE OF THE GLAZING IS LESS THAN 66 INCHES ABOVE THE FINISH FLOOR FINISH. IN SWINGING DOORS AND GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES.
22. PROVIDE 6" TYPE "Y" FIBER CEMENT OR GLASS FIBER GYPSUM BOARD AT ALL "MET" WALLS (E.G. BATHROOM, TOILET, ETC.).
23. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW OR EXISTING DOORS SWING FREELY OVER ALL NEW OR EXISTING FLOOR FINISHES.
24. METAL GYPSUM BOARD CONTROL JOINTS PER DETAILS AND AT A MAXIMUM OF 36" ON CENTER AND WHERE GYPSUM BOARD MEETS DISJUNCT MATERIALS.
25. FIRE BLOODING TO BE INSTALLED EVERY 10'-0" VERTICALLY.
26. APPLY SOUND SEALANT WHERE WALL MEETS FLOOR AND AT ALL PENETRATIONS AT RESIDENT UNIT WALLS.
27. PRIOR TO INSTALLATION OF ANY OF THE FIRE RESISTIVE THROUGH OR MEMBRANE PENETRATION FIREBLOCK SYSTEMS AND ANY FIRE RESISTIVE JOINT SYSTEMS, DETAIL TESTING AND INSTALLATION INFORMATION ON EACH OF THE SPECIFIC LISTED ASSEMBLIES INTERFERED FOR USE MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR CODE REVIEW. THE SPECIFIC ASSEMBLIES MUST ALSO BE SUBMITTED FOR EACH INTERFERED USE (E.G. PROPER PENETRATION SIZE AND RATING CONDITION ARE FOR THE TYPE OF CONSTRUCTION MATERIAL THAT IT IS BEING USED IN). EACH TRADE PERSON RESPONSIBLE FOR SEALING SAS CONDITIONS MUST PROVIDE THIS INFORMATION TO THE BUILDING INSPECTOR FOR REVIEW PRIOR TO INSTALLATION OF ANY ASSEMBLY (REG. 715, AND 710).
28. CONTRACTOR IS RESPONSIBLE FOR FIRE CALCULATING. ALL PENETRATIONS TO MEET A FIRE PENETRATION ASSEMBLY REQUIREMENTS.
29. DOORS LOCATED IN WALLS NEAR A CORNER ARE TO BE LOCATED WITH THE FINISH SIDE OF FRAME 4" FROM THE CORNER.
30. COORDINATE WITH OWNER AND DESIGNER ALL ELECTRICAL PLANS FOR UNIT CALL SYSTEM.
31. SEE ENLARGE AREA PLANS FOR WALL TYPE INDICATORS AND DOOR TAGS NOT SHOWN ON OVERALL FLOOR PLANS.
32. FINISH LINE, FINISH SHOW, ETC. SHOWN FOR REFERENCE ONLY (TYP).
33. ENLARGE DOORS ARE SHOWN FOR REFERENCE ONLY (TYP).



1 EXTERIOR ELEVATION WEST
316' x 1'-0"



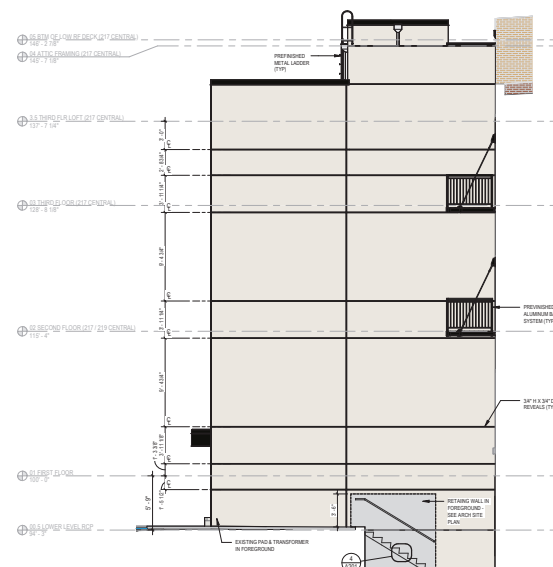
2 EXT ELEV @ ROOF LEVEL 'C'



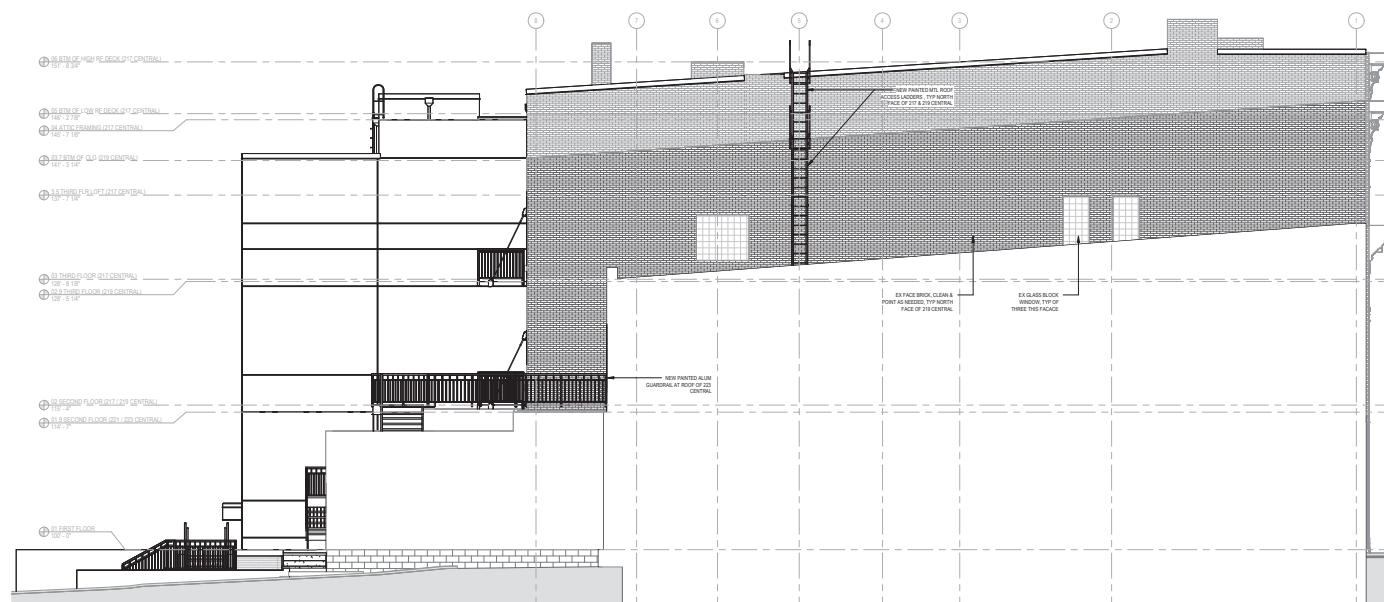
4 DETAIL @ EXT STAIR

EXTERIOR ELEVATION NOTES

- [illegible]



2 EXTERIOR ELEVATION - NORTH



5 EXTERIOR ELEVATION - NORTH (OVER-ALL)



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85 % PROG. SET
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NOT FOR
CONSTRUCTION

HPD PORTFOLIO

BUILDING ADDITION & RENOVATIONS

217 / 219 / 221 / 223 CENTRAL AVENUE NORTH
FARGO, MINNESOTA 58102

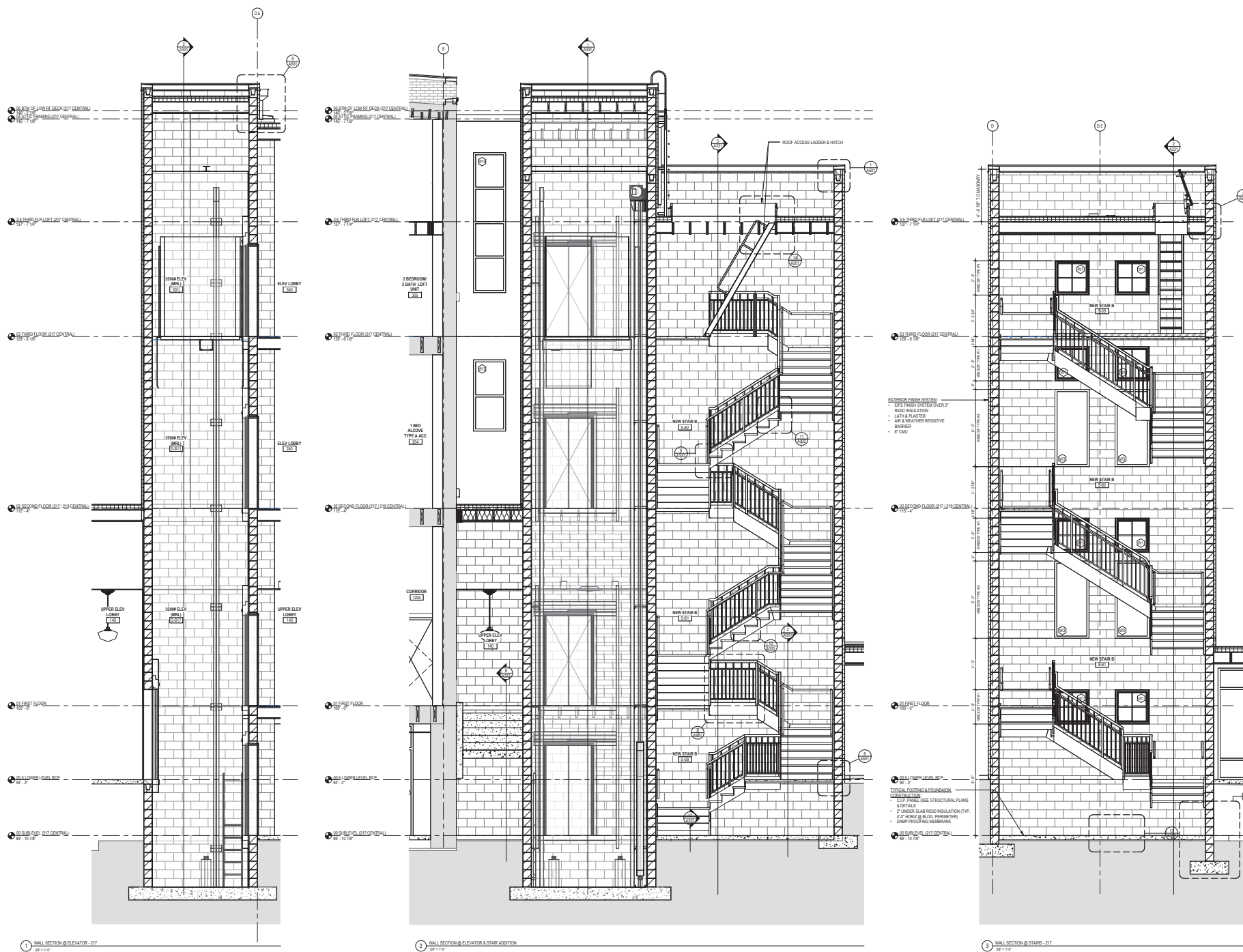
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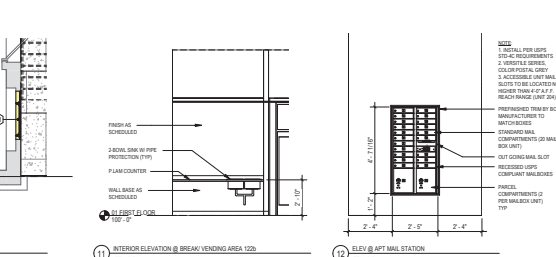
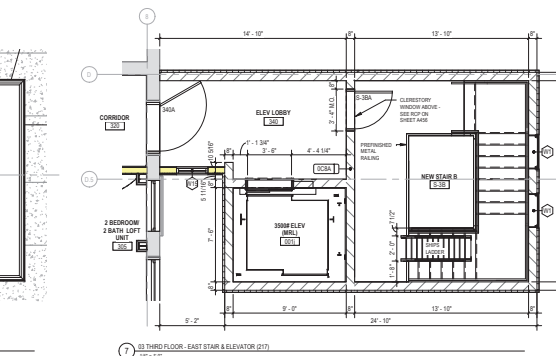
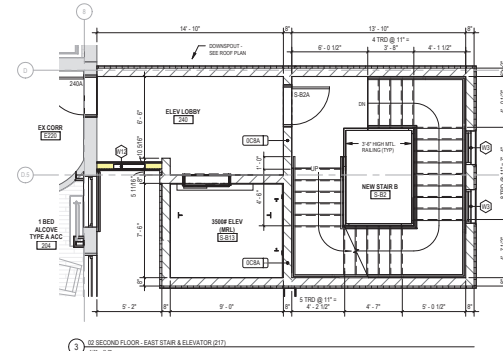
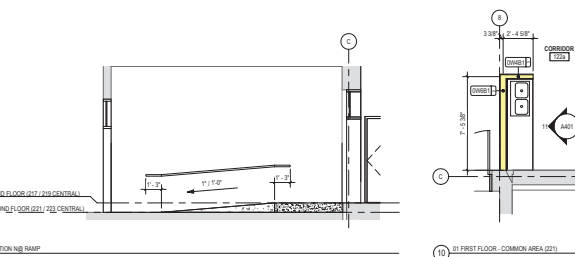
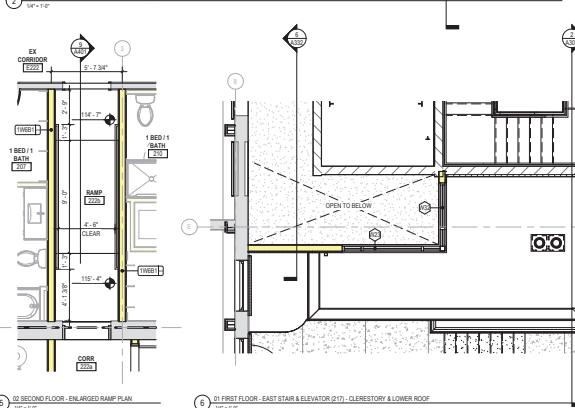
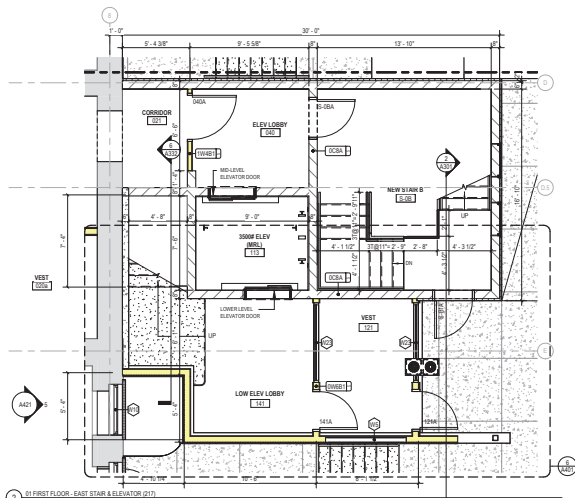
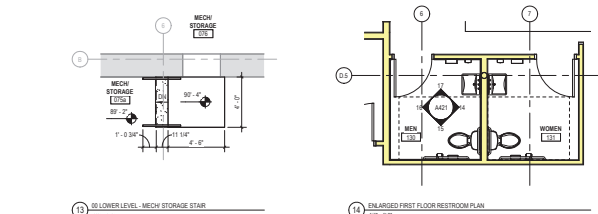
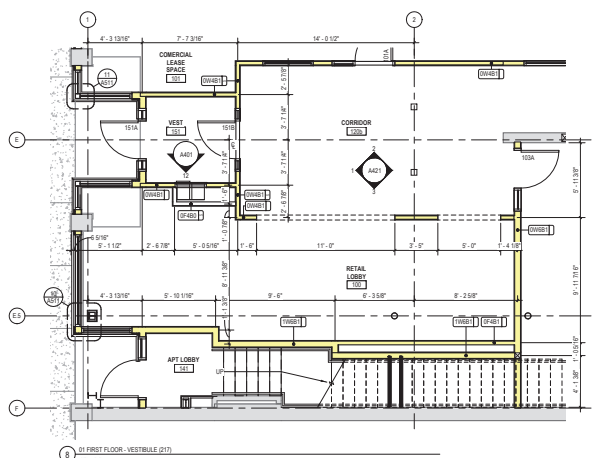
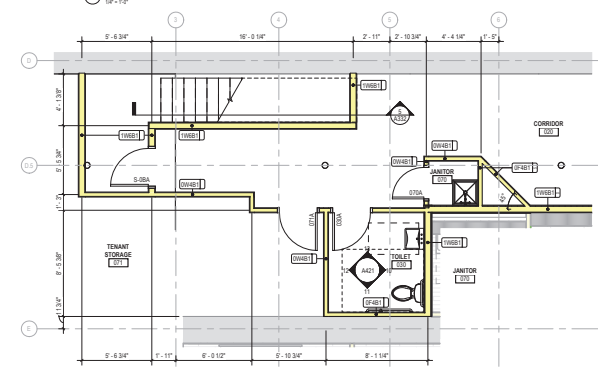
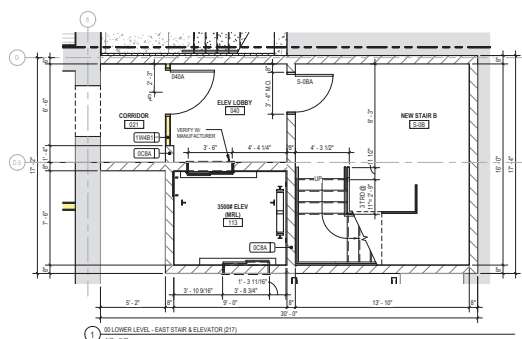
PROJECT NUMBER: 24009
DRAWN BY: PSH
CHECKED BY: JWH
ISSUED FOR PERMIT: TBD

EXTERIOR
ELEVATIONS

A202

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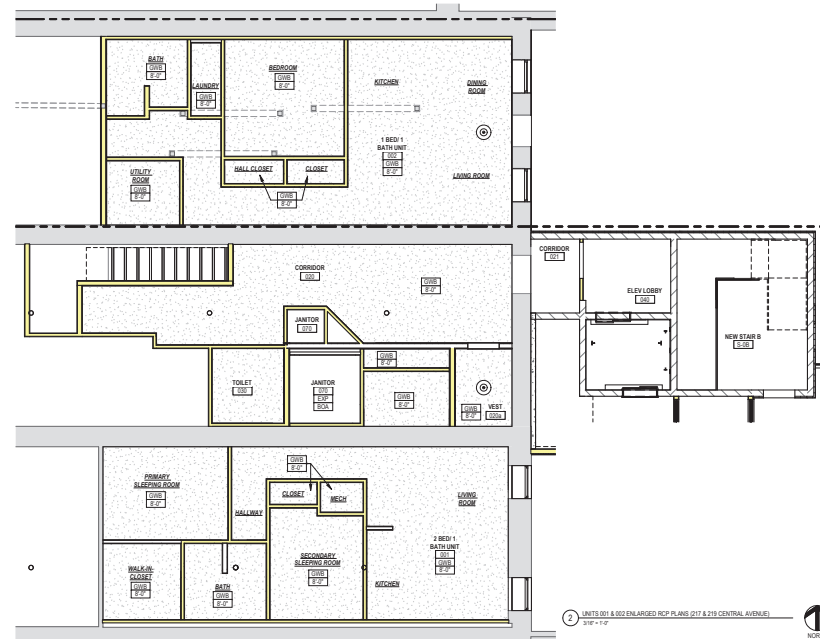
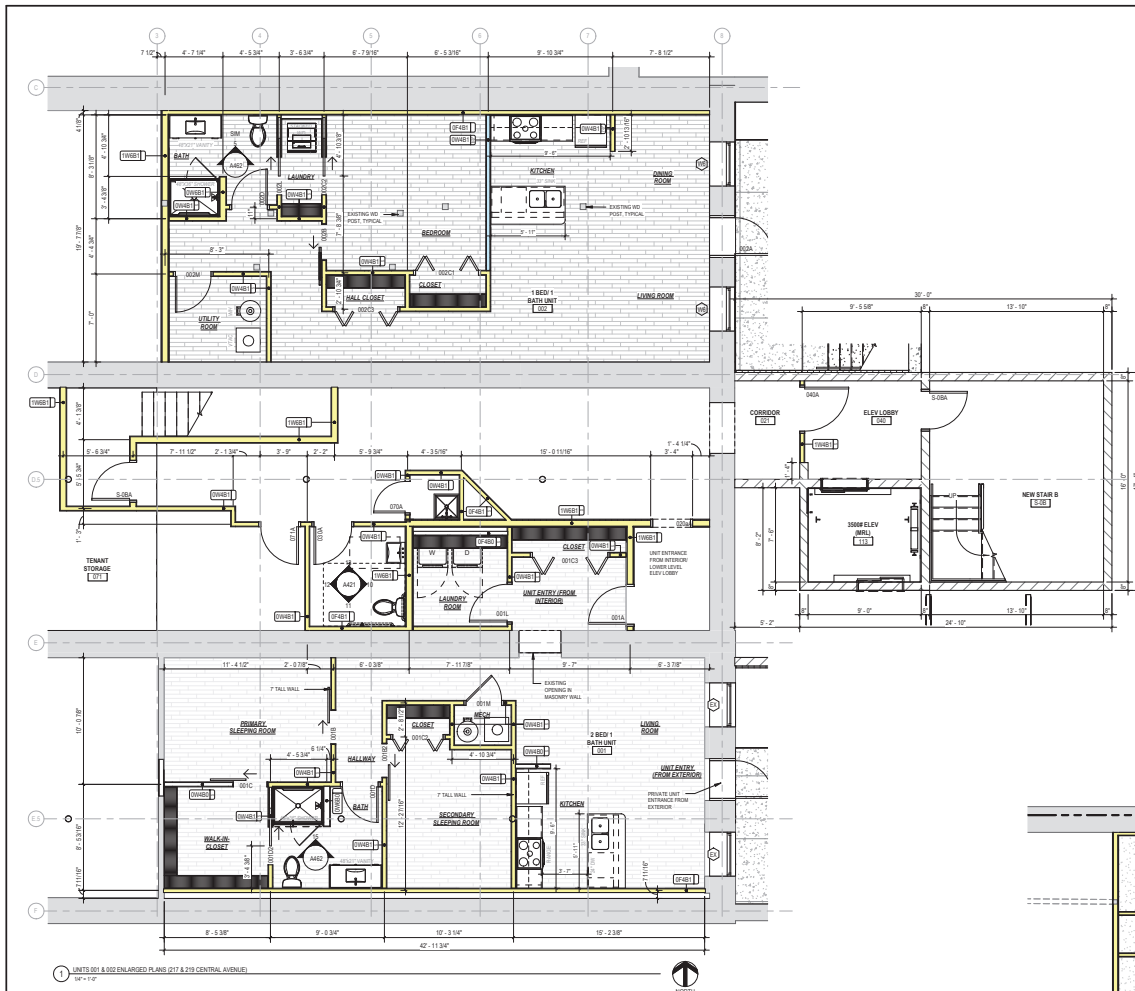
- NOTE:
- 1. STANDARD PER USPS
- 2. 40-4C REQUIREMENTS
- 3. HOSTILE SERVICE,
- 4. COLOR POSTAL GREY
- 5. ACCESSIBLE UNIT MAIL
- 6. SLOTS TO BE LOCATED NO
- 7. HIGHER THAN 4'-0" A.F.F.
- 8. REACH RANGE (UNIT 204)
- 9. PREFINISHED TRIM BY BG
- 10. MANUFACTURER TO
- 11. MATCH BOXES
- 12. STANDARD MAIL
- 13. COMPARTMENTS (20 MAIL
- 14. BOX UNIT)
- 15. OUT GOING MAIL SLOT
- 16. RECESSED USPS
- 17. COMPLIANT MAIL BOXES
- 18. PARCEL
- 19. COMPARTMENTS (2
- 20. PER MAILBOX UNIT)

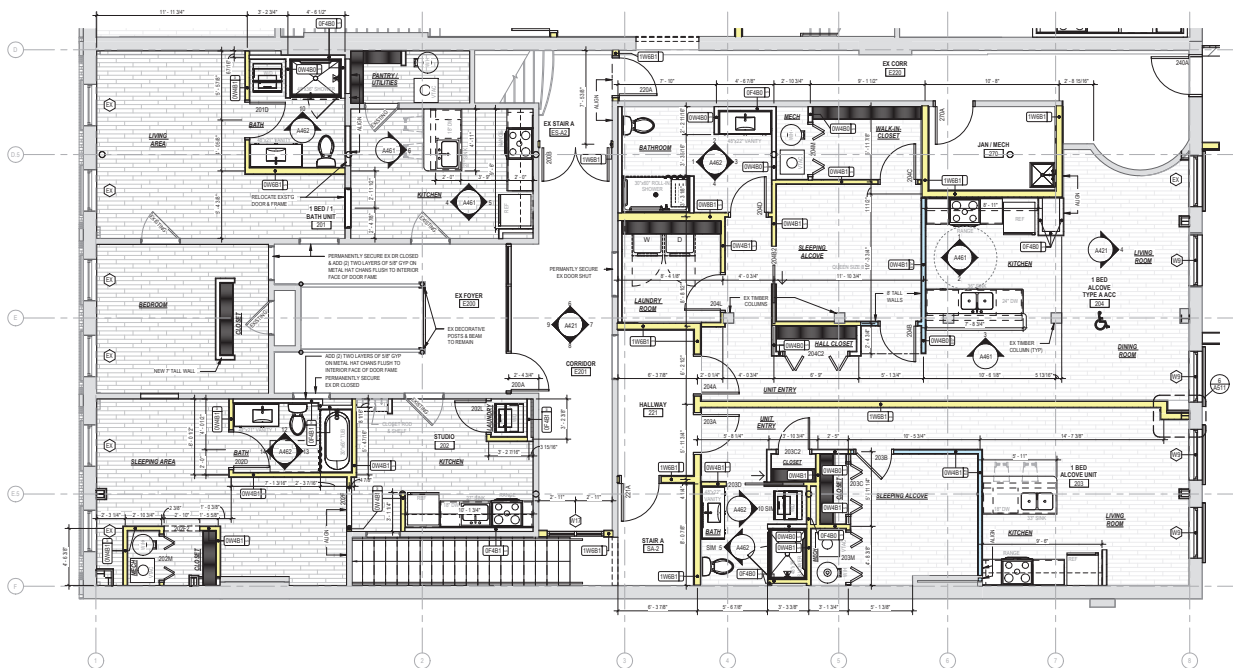
GENERAL FLOOR PLAN NOTE

- [illegible]

GENERAL REFLECTED CEILING PLAN NOT

- [illegible]





UNITS 201-204 ENLARGED PLANS (217 CENTRAL AVENUE)
1/4" = 1'-0"

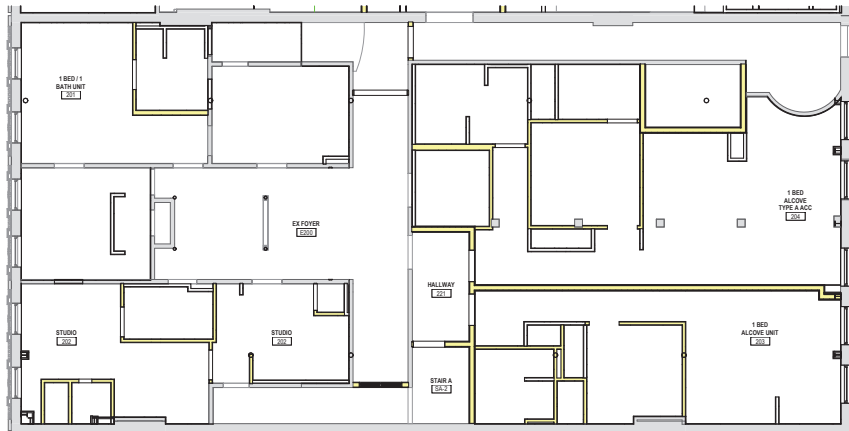


GENERAL REFLECTED CEILING PLAN NOTES

1. SEE REFLECTED CEILING PLAN SHEETS A451 FOR REFLECTED CEILING PLAN.
2. SEE UNIT PLAN SHEETS FOR REFLECTED CEILING PLAN INFORMATION (TYP).
3. REFLECTED CEILING PLANS AND SHOW DIMENSIONS ONLY. REFER TO SUBSIDIARY MECHANICAL, ELECTRICAL AND OTHER TRADE PLANS FOR DETAILS, TYPES, SIZES, SPECIFICATIONS AND INSTALLATION LOCATIONS.
4. GENERAL AND/OR REFLECTED CEILING PLANS AND/OR LAYERS SHOWN BY SHOWN PORTION OF ALL EXISTING WALLS WHERE FRAMING IS EXPOSED FROM DEMOLITION OF EXISTING DROP CEILING.
5. EXPOSED SHOWN ON ARCHITECTURAL PLANS AND NOT ON THE ENGINEERING PLANS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY FOR CLARIFICATION.
6. ACoustical CEILING GRID SHALL BE CENTERED IN ROOMS UNLESS NOTED OTHERWISE.
7. CEILING HEIGHTS ARE DIMENSIONED FROM FINISHED FLOOR ELEVATION TO FINISHED CEILING ELEVATION.
8. CENTER RECESSED LIGHTS, ELECTRICAL, AND MECHANICAL DEVICES AND SPRINKLER HEADS IN CEILING PANELS WHERE RECESSED LIGHTS ARE SHOWN OFF CENTER IN A 2' x 4' RECESSED CEILING PANEL, CENTER THE FEATURE WITHIN THE 2' x 2' PORTION OF THE PANEL.
9. MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL COORDINATE ALL DEVICES REQUIRING ACCESS IN TYPICAL NON-ACCESSIBLE CEILING. PROVIDE ACCESS PANELS AS REQUIRED. PAINT PANELS AND TRIM TO MATCH CEILING UNLESS NOTED OTHERWISE.
10. PROVIDE CEILING EXPANSION JOINTS AT ALL JUNGLE FLOOR SURFACES OF TYPEFRAMING TO JUNGLE AREAS TO 100 SQUARE FEET OR 30' IF AT OTHER LOCATIONS AS RECOMMENDED BY THE MANUFACTURER TO PREVENT CRACKING. VERIFY ALL PROPOSED EXPANSION JOINT LOCATIONS WITH GC AND OWNER.
11. CONTRACTOR TO COORDINATE INSTALLATION OF SPRINKLER AND SMOKE/HEAT DETECTORS TO SATISFY CURRENT BUILDING CODE REQUIREMENTS.
12. SEE ROOM FINISH SCHEDULE FOR CEILING FINISHES NOT SHOWN ON THIS PLAN.
13. COORDINATE EXACT LOCATIONS OF LIGHT FIXTURES, SPEAKERS, SMOKE/HEAT DETECTORS, EXIT LIGHTS, ACCESS PANELS, SPRINKLER HEADS, FIRE ALARMS, SMOKE/HEAT DETECTORS, SMOKE/HEAT DETECTORS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL AND OTHER TRADES SO AS NOT TO CAUSE INTERFERENCE WITH OTHER TRADES. NOTIFY ARCHITECT PROMPTLY IF ANY LOCATIONS CONFLICT WITH ARCHITECTURAL PLANS.
14. FIRE SUPPRESSION PLANS ARE BY OTHERS AND PROVIDED UNDER A SEPARATE SUBMITTAL. FIRE SUPPRESSION DESIGNER TO COORDINATE WITH FINISHES SHOWN ON REFLECTED CEILING PLANS, MECHANICAL PLANS AND ELECTRICAL PLANS TO AVOID CONFLICT.
15. ALL RECESSED LIGHT FIXTURES THAT PENETRATE A RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ARE REQUIRED TO HAVE A RATED COVER TO MAINTAIN THE ASSEMBLY. PROVIDE TYPICAL RATED COVER UNLESS NOTED OTHERWISE.
16. SEE SHEETS A-451 TO A-457 FOR RESIDENT UNIT REFLECTED CEILING PLANS.

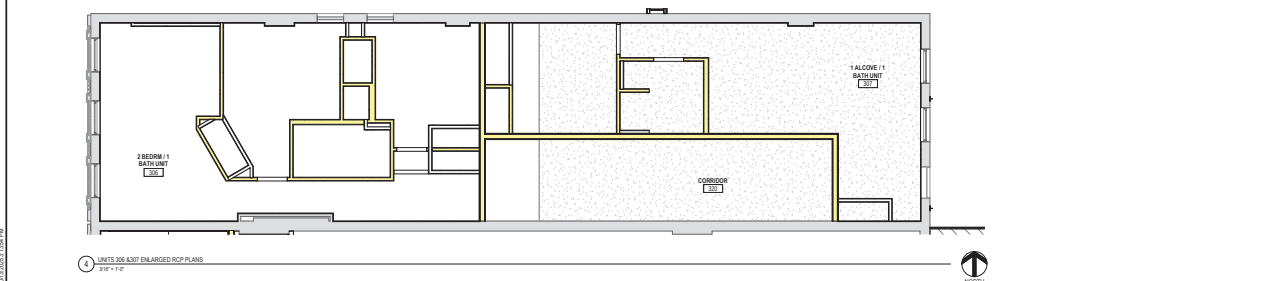
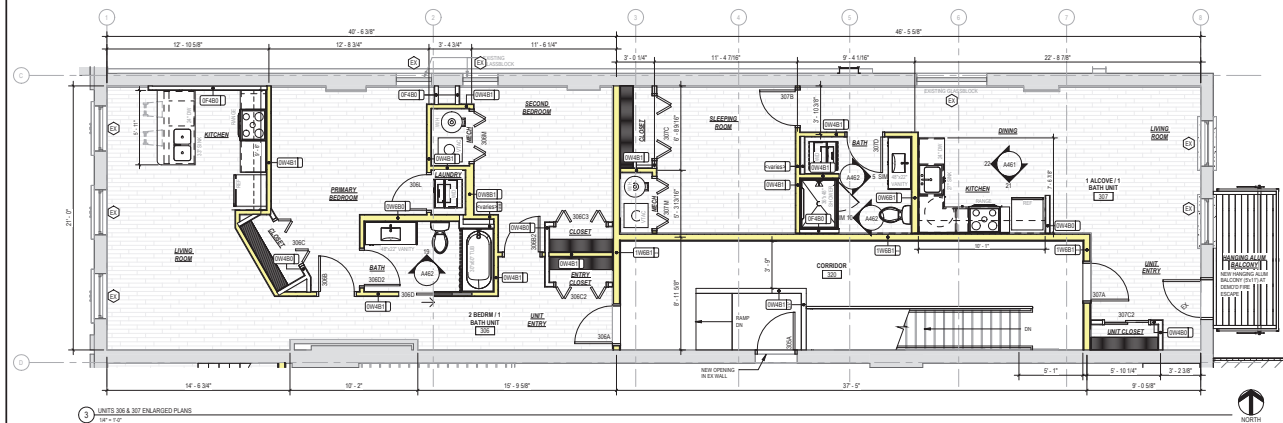
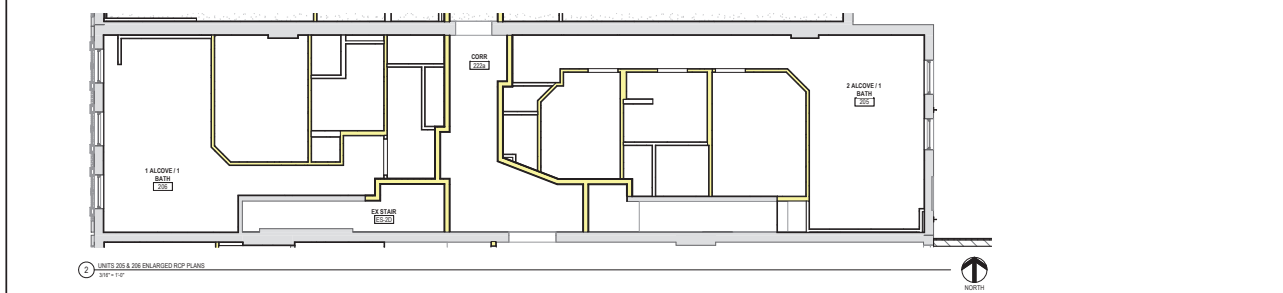
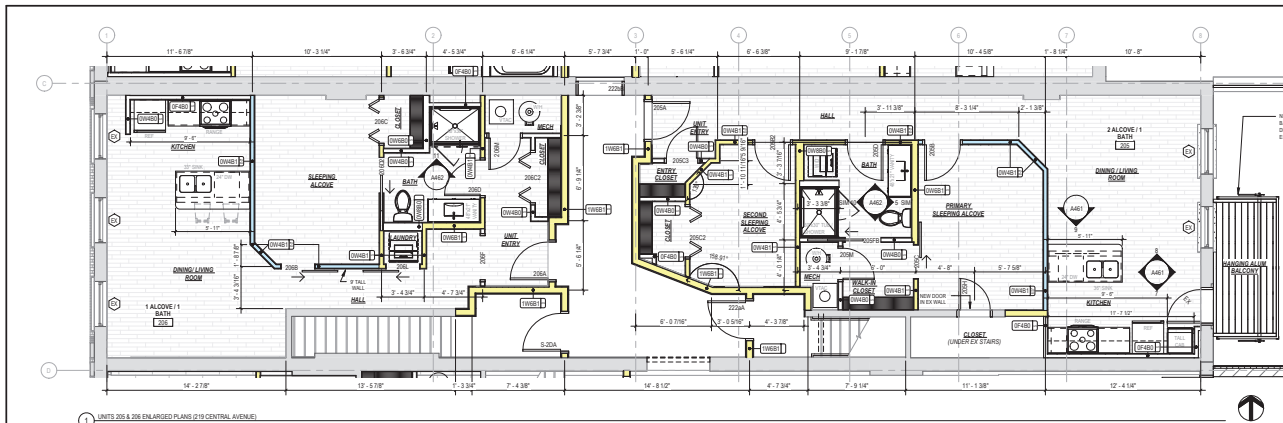
GENERAL FLOOR PLAN NOTES

1. THESE GENERAL NOTES APPLY TO THE CONSTRUCTION DOCUMENTS AND SHALL GOVERN UNLESS NOTED OTHERWISE BY GENERAL NOTES OR NOTES ON SPECIFIC DRAWINGS.
2. NOTIFY ARCHITECT PROMPTLY IF CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH THE CURRENT APPLICABLE CODES AND REGULATIONS.
3. NOTIFY ARCHITECT PROMPTLY IF ANY EXISTING CONDITIONS CONFLICT WITH THE CONSTRUCTION DOCUMENTS.
4. COORDINATE ALL PROPOSED SCHEDULING WITH OWNER AND AS SPECIFIED AND/OR SHOWN ON THE DRAWINGS.
5. PROVIDE A SAFE MEANS OF EGRESS THROUGH AND/OR AROUND THE BUILDING AND SITE PER APPLICABLE CODES AT ALL TIMES DURING THE CONSTRUCTION PROCESS. MINIMIZE OBSTRUCTION TO ADJACENT AREAS AS MUCH AS POSSIBLE.
6. MAINTAIN NOISE TO A LEVEL ACCEPTABLE TO THE OWNER. SCHEDULE TASKS CREATING EXCESSIVE NOISE OR NEAR SENSITIVE AREAS WITH THE OWNER.
7. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES.
8. ALL WORKING OF EXISTING WALLS, SPRINKLER, FIRE ALARM AND/OR SMOKE/HEAT DETECTOR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER AND LOCAL FIRE AUTHORITIES.
9. FOR EXTERIOR WALLS, ALL DIMENSIONS ARE FROM FACE OF FOUNDATION TO FACE OF FOUNDATION OR FROM FACE OF EXTERIOR MASONRY TO FACE TO FACE OF EXTERIOR MASONRY. FOR INTERIOR WALLS, ALL CENTERLINE DIMENSIONS ARE FROM CENTER OF ASSEMBLY TO CENTERLINE OF ASSEMBLY. UNLESS NOTED OTHERWISE, WHERE RESIDENT CHANNELS ARE PRESENT, LOCATE ON THE PUBLIC/COMMON SIDE WHERE POSSIBLE. OVERALL RESIDENT UNIT DIMENSION ARE TAKE TO FACE OF FINISH MATERIAL.
10. SEE SHEET A451 FOR WALL TYPE ABBREVIATIONS. UNLESS NOTED OTHERWISE, ALL WALLS ARE TO BE TYPE A451.
11. UNIT WALLS SHOWN BLUE TO BE OF FINISH HEIGHT 8' 0".
12. PROVIDE DRAFT STOP AT THE FLOOR/CEILING SPACE, SUCH THAT THE RESIDENT UNITS ARE ISOLATED FROM COMMON AREAS AS WELL AS FROM EACH OTHER. SEE DETAILS FOR TYPICAL DRAFT STOP CONSTRUCTION.
13. KEEP LOCATION, SIZE AND WALL THICKNESS REQUIRED. RECESS MECHANICAL AND ELECTRICAL ITEMS AND MAINTAIN FIRE RATING REQUIREMENTS OF THE WALL (IF REQUIRED) AT BUILT IN ITEMS SUCH AS ELECTRICAL PANELS, DUCTS, PIPES, UNIT VENTILATORS, FIRE EXTINGUISHERS, ETC.
14. CUT OUTS FOR MECHANICAL AND ELECTRICAL ITEMS SHALL BE ACCOMPANIED IN SUCH A MANNER THAT STANDARD EIGHT-TOE PLATE, CORNERS, ETC. WILL ACCURATELY COVER ROUGH OPENINGS. APPLY FIRE RATED SEALANT AT FINISHED CONDITIONS.
15. WHERE PIPING, STRUCTURAL COMPONENTS, DUCTS OR CONDUITS PASS THROUGH WALLS, ALL OPENINGS SHALL BE SEALED BOTH SIDES WITH GROUT, PLATE, OR CRITICAL TAPE AND COMPOUND. APPLY PRESTRESS MATERIAL AND FIRE RATED SEALANT AS REQUIRED AT RATED WALLS. PRESTRESS ALL OPENINGS THROUGH ALL FLOORS AND WALLS IN ACCORDANCE WITH ALL APPLICABLE CODES.
16. METALLIC BLOODING (WOOD OR METAL) IN WALLS WHERE FIXTURES, ACCESSORIES, EQUIPMENT OR CABINETS ARE TO BE MOUNTED, EXCEPTS HOLIC, BUT NOT LIMITED TO BENCHWORK, SINKS, SINK DISPENSERS, COUNTER, GRAB BARS, TOWEL DISPENSERS, LAUNDRIES, WATER CLOSET, COAT HOOKS, DRINKING FOUNTAIN, IF PROVIDED, HANDCLES, CHAIR WASH, SINK OR BENCH, CABINETS, WALL MOUNTED TELEPHONE, MAGNETIC HOLD-OPEN, ETC. PROVIDE BLOODING FOR FUTURE GRAB BARS IN BATHROOMS AS INDICATED ON DRAWINGS.
17. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL APPLICABLE TRADES OF THE CONTRACT AND TO PROVIDE A COMPLETE AND FUNCTIONING PROJECT. ANY REFERENCES TO OTHER TRADES OR DIVISIONS ARE SUGGESTION ONLY.
18. ALL STRUCTURAL STEEL TO BE REMOVED BY THE FINISH CONTRACTOR AND SHALL BE REMOVED BY THE CONTRACTOR.
19. ALL FINISHES ARE PER THE FINISH SCHEDULE WHETHER OR NOT THEY ARE NOTED ON THE PLANS.
20. FINISH ACCESS PANELS REQUIRED AT ALL TIMES AND SHOWN.
21. SAFETY GLAZING IS REQUIRED FOR GLAZING WITHIN 24 INCHES OF A DOOR SWING, WHERE THE EXPOSED EDGE OF THE GLAZING IS LESS THAN 48 INCHES ABOVE THE FINISH FLOOR FINISH. IN SWINGING DOORS AND GLAZING FINISHED AND GLAZING PANELS OF GLAZING DOOR ASSEMBLY.
22. PROVIDE 6" TYPE 'Y' FRAMING OR GLASS NOT OVSIZED ABOVE AT ALL VET WALLS (SEE BATHROOM, TOILET, ETC).
23. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW OR EXISTING DOORS SWING FREELY OVER ALL NEW OR EXISTING FLOOR FINISHES.
24. METALLIC OVSIZED BOARD CONTROL JOINTS PER DETAILS AND AT A MAXIMUM OF 30' ON CENTER AND WHERE OVSIZED BOARD MEETS EXISTING MATERIALS.
25. FIRE BLOCKING TO BE INSTALLED A MINIMUM EVERY 10' VERTICALLY.
26. APPLY SOUND SEALANT WHERE WALLS MEET FLOOR AND AT ALL PENETRATIONS AT RESIDENT UNIT WALLS.
27. PRIOR TO INSTALLATION OF ANY OF THE FIRE RESISTIVE THROUGH OR MEMBRANE PENETRATION FIREBLOCK SYSTEMS AND ANY FIRE RESISTIVE JOINT SYSTEMS, DETAILS TESTING AND INSTALLATION INFORMATION ON EACH OF THE SPECIFIC LISTED ASSEMBLIES INTERFERED FOR USE MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR CODE REVIEW. THE SPECIFIC ASSEMBLIES MUST ALSO BE LISTED FOR EACH INTERFERED USE (E. PROPER PENETRATION SIZE AND BATING CONDITION AND FOR THE TYPE OF CONSTRUCTION MATERIAL THAT IT IS BEING USED IN). EACH TRADE PERSON RESPONSIBLE FOR SEALING SAID CONDITIONS MUST PROVIDE THIS INFORMATION TO THE BUILDING INSPECTOR FOR REVIEW PRIOR TO INSTALLATION OF ANY ASSEMBLY (PER TO, ITS, AND ITS).
28. CONTRACTOR IS RESPONSIBLE FOR FIRE CALCUING. ALL PENETRATIONS TO MEET A FIRE PENETRATION ASSEMBLY REQUIREMENTS.
29. DOORS LOCATED WITHIN A NEAR A CORNER ARE TO BE LOCATED WITHIN THE INSIDE CORNER OF FRAME AT 4' FROM THE INSIDE CORNER.
30. COORDINATE WITH OWNER AND DESIGN/ARCHITECTURAL PLANS FOR UNIT CALL SYSTEMS.
31. SEE ENLARGED AREA PLANS FOR WALL, TYPICAL INDICATORS AND DOOR TAGS NOT SHOWN ON OVERALL FLOOR PLANS.
32. FINISHES, MATERIALS, ETC. SHOWN FOR REFERENCE ONLY (TYP).
33. ENLARGED AREAS ARE SHOWN IN RED (TYP).



UNITS 201-204 ENLARGED RCP PLAN (217 CENTRAL AVENUE)
1/4" = 1'-0"



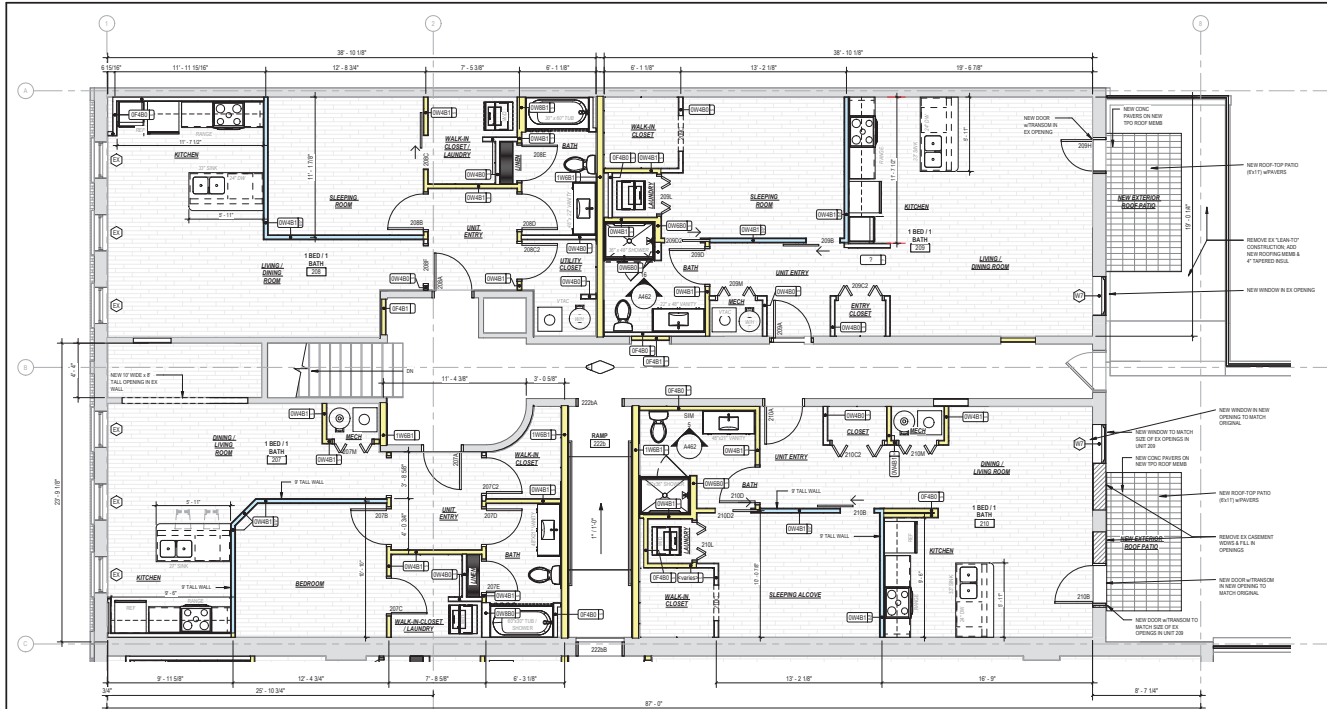


GENERAL REFLECTED CEILING PLAN NOTES

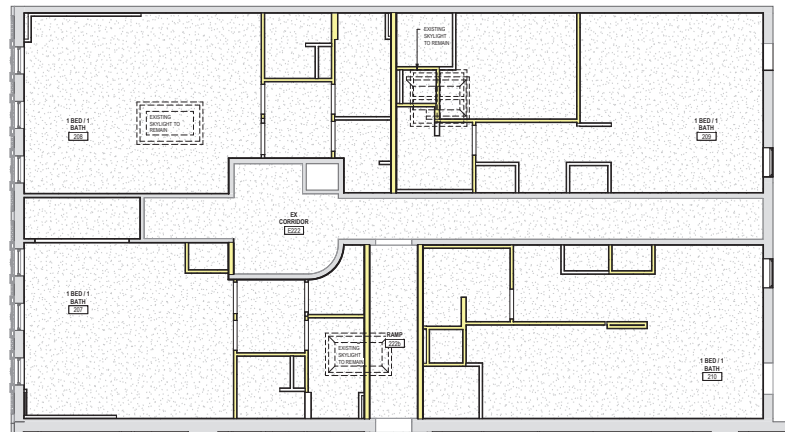
- SEE REFLECTED CEILING PLAN SHEETS AND FOR REFLECTED CEILING PLAN KEY.
- SEE UNIT PLAN SHEETS FOR REFLECTED CEILING PLAN INFORMATION (TYPE).
- REFLECTED CEILING PLAN AND SHOW DESIGN NOTES ONLY. REFER TO SUBSIDIARY MECHANICAL, ELECTRICAL AND OTHER TRADE PLANS FOR DEVICES, TYPES, SIZES, SPECIFICATIONS AND INSTALLATION LOCATIONS.
- GENERAL AND/OR LOCATED REFLECTED CEILING PLAN NOTES AND/OR LATER SET BY SUPPER PORTION OF ALL EXISTING WALLS WHERE FRAMING IS EXPOSED FROM DEMOLITION OF EXISTING DROP CEILING.
- DEVICES SHOWN ON ARCHITECTURAL PLANS AND NOT ON THE ENGINEERING PLANS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY FOR CLARIFICATION.
- ACCESSIONAL CEILING GRID SHALL BE CENTERED IN ROOMS UNLESS NOTED OTHERWISE.
- CEILING HEIGHTS ARE DIMENSIONED FROM FINISHED FLOOR ELEVATION TO FINISHED CEILING ELEVATION.
- CENTER RECESSED LIGHTS, ELECTRICAL, MECHANICAL DEVICES AND SPRINKLER HEADS IN CEILING PANELS WHERE RECESSED LIGHTS ARE SHOWN OFF CENTER IN A 2' x 4' RECESSED CEILING PANEL, CENTER THE FEATURE WITHIN THE 2' x 4' PORTION OF THE PANEL.
- MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL COORDINATE ALL DEVICES REQUIRING ACCESS IN TYPICAL NON-ACCESSIBLE CEILING. PROVIDE ACCESS PANELS AS REQUIRED. PAINT PANEL AND TRIM TO MATCH CEILING PANELS NOTED OTHERWISE.
- PROVIDE CEILING EXPANSION JOINTS AT ALL JUNGLE FLOOR SURFACES OF TYPICAL BOARD TO JUNGLE AREAS TO 1.00 SQUARE FEET OR 30" IF AND AT OTHER LOCATIONS AS RECOMMENDED BY THE MANUFACTURER TO PREVENT CRACKING. VERIFY ALL PROPOSED EXPANSION JOINT LOCATIONS WITH GC AND OWNER.
- CONTRACTOR TO COORDINATE INSTALLATION OF SPRINKLER AND SMOKE/HEAT DETECTORS TO SATISFY CURRENT BUILDING CODE REQUIREMENTS.
- SEE ROOM FINISH SCHEDULE FOR CEILING FINISHES NOT SHOWN ON THIS PLAN.
- COORDINATE EXACT LOCATIONS OF LIGHT FIXTURES, SPEAKERS, SMOKE/HEAT DETECTORS, EXIST LIGHTS, ACCESS PANELS, SPRINKLER HEADS, FIRE ALARMS, SMOKE/HEAT DETECTORS, SMOKE/HEAT DETECTORS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL AND OTHER TRADES SO AS NOT TO CAUSE INTERFERENCE WITH OTHER TRADES. NOTIFY ARCHITECT PROMPTLY IF ANY LOCATIONS CONFLICT WITH ARCHITECTURAL PLAN.
- FIRE SUPPRESSION PLANS ARE BY OTHERS AND PROVIDED UNDER A SEPARATE SUBMITTAL. FIRE SUPPRESSION DESIGNER TO COORDINATE WITH FINISHES SHOWN FOR REFLECTED CEILING PLANS, MECHANICAL PLANS AND ELECTRICAL PLANS TO AVOID CONFLICT.
- ALL RECESSED LIGHT FIXTURES THAT PENETRATE A RATED FLOORING OR ROOFCEILING ASSEMBLY ARE REQUIRED TO HAVE A RATED COVER TO MAINTAIN THE ASSEMBLY. PROVIDE TYPICAL RATED COVER WHERE REQUIRED.
- SEE SHEETS A-451 THROUGH A-457 FOR RESIDENT UNIT REFLECTED CEILING PLANS.

GENERAL FLOOR PLAN NOTES

- THESE GENERAL NOTES APPLY TO THE CONSTRUCTION DOCUMENTS AND SHALL GOVERN UNLESS NOTED OTHERWISE BY GENERAL NOTES OR NOTES ON SPECIFIC DRAWINGS.
- NOTIFY ARCHITECT PROMPTLY IF CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH THE CURRENT APPLICABLE CODES AND REGULATIONS.
- NOTIFY ARCHITECT PROMPTLY IF ANY EXISTING CONDITIONS CONFLICT WITH THE CONSTRUCTION DOCUMENTS.
- COORDINATE ALL PROJECTS CONFLICTING WITH OWNER OR AS SPECIFIED AND/OR SHOWN ON THE DRAWINGS.
- PROVIDE A SAFE MEANS OF EGRESS THROUGHOUT AND AROUND THE BUILDING AND SITE PER APPLICABLE CODES AT ALL TIMES DURING THE CONSTRUCTION PROCESS. MINIMIZE OBSTRUCTION TO ADJACENT AREAS AS MUCH AS POSSIBLE.
- MINIMIZE NOISE TO A LEVEL ACCEPTABLE TO THE OWNER. SCHEDULE TASKS CREATING EXCESSIVE NOISE OR NEAR SENSITIVE AREAS WITH THE OWNER.
- PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES.
- ALL SHOWN FOR MECHANICAL AND ELECTRICAL ITEMS SHALL BE ACCOMPANIED IN SUCH A MANNER THAT STANDARD EIGHT-TOE PLATE, CORNERS, ETC. WILL ACCURATELY COVER ROUGH OPENINGS. APPLY FIRE RATED SEALANT AT RATED CONDITIONS.
- FOR EXTERIOR WALLS, ALL DIMENSIONS ARE FROM FACE OF FOUNDATION TO FACE OF FOUNDATION OR FROM FACE OF EXTERIOR MASONRY TO FACE OF FACE OF EXTERIOR MASONRY. FOR INTERIOR WALLS, ALL CENTRAL DIMENSIONS ARE FROM CENTER OF ASSEMBLY TO CENTER OF ASSEMBLY. UNLESS NOTED OTHERWISE, MEASURE INVERT CHANNELS ARE PRESENT LOCATED ON THE PUBLIC/OWNER SIDE WHERE POSSIBLE. OVERALL RESIDENT UNIT DIMENSIONS ARE TAKE TO FACE OF FINISH MATERIAL.
- SEE SHEET FOR WALL TYPE ASSEMBLY. UNLESS NOTED OTHERWISE, ALL WALLS ARE TO BE TYPE 1B/1C.
- UNIT WALLS SHOWN BLUE TO BE 8" FRESH-HEIGHT A.F.F.
- PROVIDE DRAFT STOPS ON THE FLOORING AND SPACE. SUCH THAT THE RESIDENT UNITS ARE ISOLATED FROM COMMON AREAS AS WELL AS FROM EACH OTHER. SEE DETAILS FOR TYPICAL DRAFT STOP CONSTRUCTION.
- VERIFY LOCATION, SIZE AND WALL THICKNESS REQUIRED TO RECESS MECHANICAL AND ELECTRICAL ITEMS AND MAINTAIN FIRE-RATING REQUIREMENTS OF THE WALL (IF REQUIRED) AT BUILT IN ITEMS SUCH AS ELECTRICAL PANELS, DUCTS, PIPES, UNIT VENTILATORS, FIRE EXTINGUISHERS, ETC.
- CUT OUTS FOR MECHANICAL AND ELECTRICAL ITEMS SHALL BE ACCOMPANIED IN SUCH A MANNER THAT STANDARD EIGHT-TOE PLATE, CORNERS, ETC. WILL ACCURATELY COVER ROUGH OPENINGS. APPLY FIRE RATED SEALANT AT RATED CONDITIONS.
- WHERE PIPING, STRUCTURAL COMPONENTS, DUCTS OR CONDUITS PASS THROUGH WALLS, ALL OPENINGS SHALL BE SEALED BOTH SIDES WITH GROUT, PLATE, OR CRITICAL TAPE AND COMPOUND. APPLY FIRE-RESISTANT MATERIAL AND FIRE RATED SEALANT AS REQUIRED AT RATED WALLS. PREPARE ALL OPENINGS THROUGHOUT ALL FLOORS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.
- INSTALL BLOODING (WOOD OR METAL) IN WALLS WHERE FINISHES, ACCESSORIES, EQUIPMENT OR CABINETS ARE TO BE MOUNTED. EXAMPLES INCLUDE, BUT NOT LIMITED TO: BENCHWORK, SHELVES, SOAP DISPENSERS, COUNTERS, GRAB BARS, TOWEL DISPENSERS, LAUNDRIES, WATER CLOSETS, COAT COCKS, DRINKING FOUNTAINS IF PROVIDED, HANGERS, CHAIR RAILS, SINKS IF BUNDLES, CABINETS, WALL MOUNTED TELEPHONE, MOUNTED HOLD-OPEN, ETC. PROVIDE BLOODING FOR FUTURE GRAB BARS IN BATHROOMS AS INDICATED ON DRAWINGS.
- COMPLETE AND FUNCTIONING PROJECT. ANY REFERENCES TO OTHER TRADES OR DIVISIONS ARE SUGGESTED ONLY.
- ALL STRUCTURAL, STEEL, TO BE REINFORCED BY FIRE-RESISTANT MATERIAL OR SHALL BE REINFORCED.
- ALL FINISHES ARE PER THE FINISH SCHEDULE WHETHER OR NOT THEY ARE NOTED ON THE PLANS.
- PAINTING ACCESS PANELS REQUIRED AT ALL TIMES AND PROVIDE.
- SAFETY GLAZING IS REQUIRED FOR GLAZING WITHIN 24" OF A DOOR SWING, WHERE THE EXPOSED EDGE OF THE GLAZING IS LESS THAN 48" ABOVE THE FINISH FLOOR SURFACE. IN SWINGING DOORS AND GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES.
- PROVIDE 6" TYPE 'Y' FRESH-CONCRETE OR GLASS NOT OBTAINABLE AT ALL "NET" WALLS (SEE BATHROOM, TOILET, ETC.).
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW OR EXISTING DOORS SWING FREELY OVER ALL NEW OR EXISTING FLOOR FINISHES.
- INSTALL Gypsum BOARD CONTROL JOINTS PER DETAILS AND AT A MAXIMUM OF 30" ON CENTER AND WHERE OBTAINABLE MEETS EXISTING MATERIALS.
- FIRE BLOODING TO BE INSTALLED A MINIMUM EVERY 12" VERTICALLY.
- APPLY SOUND SEALANT WHERE WALLS MEET FLOOR AND AT ALL PENETRATIONS AT RESIDENT UNIT WALLS.
- PRIOR TO INSTALLATION OF ANY OF THE FIRE-RESISTIVE THROUGH OR MEMBRANE PENETRATION FIREBLOCK SYSTEMS AND ANY FIRE-RESISTIVE JOINT SYSTEMS, DETAIL TESTING AND INSTALLATION INFORMATION ON EACH OF THE SPECIFIC TESTED ASSEMBLIES INTERFERED MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR CODE REVIEW. THE SPECIFIC ASSEMBLIES MUST ALSO BE SUBMITTED FOR EACH INTERFERED USE IF PROPER PREPARATION, SEALING AND BANDING CONFORMANCE FOR THE TYPE OF CONSTRUCTION MATERIAL THAT IS BEING USED IN THE.
- CONTRACTOR IS RESPONSIBLE FOR SEALING AND BANDING CONFORMANCE MUST PROVIDE THIS INFORMATION TO THE BUILDING INSPECTOR FOR REVIEW PRIOR TO INSTALLATION OF ANY ASSEMBLY (PER 715 AND 716).
- CONTRACTOR IS RESPONSIBLE FOR FIRE CALICULATING. ALL PENETRATIONS TO MEET A FIRE PENETRATION ASSEMBLY REQUIREMENTS.
- COORDINATE WITH OWNER AND DESIGNER FOR ELECTRICAL, PLUMBING AND UNIT CALL SYSTEM.
- SEE ENLARGED AREA PLANS FOR WALL, TYPICAL INDICATORS AND DOOR TAGS NOT SHOWN ON OVERALL FLOOR PLANS.
- FINISHES, MATERIALS, SHOWS, ETC. SHOWN FOR REFERENCE ONLY (NOT TYPE).
- EXCLUDED AREAS ARE NOT SHOWN IN THIS PLAN (SEE SHEET A-451 THROUGH A-457 FOR RESIDENT UNIT REFLECTED CEILING PLANS).



1 UNITS 207-210 ENLARGED PLANS (201 & 203 CENTRAL AXIS)
1/4" = 1'-0"



2 UNITS 207-210 ENLARGED RCP PLANS
3/16" = 1'-0"



GENERAL REFLECTED CEILING PLAN NOTES

1. SEE REFLECTED CEILING PLAN SHEETS AND/ OR REFLECTED CEILING PLAN KEY.
2. SEE UNIT PLAN SHEETS FOR REFLECTED CEILING PLAN INFORMATION (TYPE).
3. REFLECTED CEILING PLANS AND DIMENSIONS INDICATE ONLY. REFER TO SUBSIDIARY MECHANICAL, ELECTRICAL AND OTHER TRADE PLANS FOR DEVICES, TYPES, SIZES, SPECIFICATIONS AND INSTALLATION LOCATIONS.
4. GENERAL AND/ OR REFLECTED CEILING PLAN NOTES AND/ OR LAYER SET BY SUPPLEMENT PORTION OF ALL EXISTING WALLS WHERE FRAMING IS EXPOSED FROM DEMOLITION OF EXISTING DROP CEILING.
5. DEVICES SHOWN ON ARCHITECTURAL PLANS AND NOT ON THE ENGINEERING PLANS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY FOR CLARIFICATION.
6. ACOUSTICAL CEILING GRID SHALL BE CENTERED IN ROOMS UNLESS NOTED OTHERWISE.
7. CEILING HEIGHTS ARE DIMENSIONED FROM FINISHED FLOOR ELEVATION TO FINISHED CEILING ELEVATION.
8. CENTER RECESSED LIGHTS, ELECTRICAL, MECHANICAL DEVICES AND SPRINKLER HEADS IN CEILING PANELS WHERE RECESSED LIGHTS ARE SHOWN OFF CENTER IN A 2' x 4' RECESSED CEILING PANEL, CENTER THE FUTURE WITHIN THE 2' x 4' PORTION OF THE PANEL.
9. MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL COORDINATE ALL DEVICES REQUIRING ACCESS IN TYPICAL NON-ACCESSIBLE CEILING. PROVIDE ACCESS PANELS AS REQUIRED. PAINT PANEL AND TRIM TO MATCH CEILING UNLESS NOTED OTHERWISE.
10. PROVIDE CEILING EXPANSION JOINTS AT ALL LARGE PLANE SURFACES OF GYPSON BOARD TO LIMIT AREAS TO 1.00 SQUARE FEET OR 36" AND AT OTHER LOCATIONS AS RECOMMENDED BY THE MANUFACTURER TO PREVENT CRACKING. VERIFY ALL PROPOSED EXPANSION JOINT LOCATIONS WITH GC AND OWNER.
11. CONTRACTOR TO COORDINATE INSTALLATION OF SPRINKLER AND SMOKE/HEAT DETECTORS TO SATISFY CURRENT BUILDING CODE REQUIREMENTS.
12. SEE FLOOR FINISH SCHEDULE FOR CEILING FINISHES NOT SHOWN ON THIS PLAN.
13. COORDINATE EXACT LOCATIONS OF LIGHT FIXTURES, SPEAKERS, SMOKE/HEAT DETECTORS, EXIST LIGHTS, ACCESS PANELS, SPRINKLER HEADS, FIRE ALARMS, SMOKE/HEAT DETECTORS, SMOKE/HEAT DETECTORS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL AND OTHER TRADES SO AS NOT TO CAUSE INTERFERENCE WITH OTHER TRADES. NOTIFY ARCHITECT PROMPTLY IF ANY LOCATIONS CONFLICT WITH ARCHITECTURAL PLANS.
14. FIRE SUPPRESSION PLANS ARE BY OTHERS AND PROVIDED UNDER A SEPARATE SUBMITTAL. FIRE SUPPRESSION DESIGNER TO COORDINATE WITH FINISHES SHOWN ON REFLECTED CEILING PLANS, MECHANICAL PLANS AND ELECTRICAL PLANS TO AVOID CONFLICT.
15. ALL RECESSED LIGHT FIXTURES THAT PENETRATE A RATED FLOOR/CEILING OR ROOF/CEILING ASSEMBLY ARE REQUIRED TO HAVE A RATED COVER TO MAINTAIN THE ASSEMBLY. PROVIDE TYPICAL RATED COVER WHERE REQUIRED.
16. SEE SHEETS A-451 THROUGH A-457 FOR RESIDENT UNIT REFLECTED CEILING PLANS.

GENERAL FLOOR PLAN NOTES

1. THESE GENERAL NOTES APPLY TO THE CONSTRUCTION DOCUMENTS AND SHALL GOVERN UNLESS NOTED OTHERWISE BY GENERAL NOTES OR REVISIONS OR SPECIFIC DRAWINGS.
2. NOTIFY ARCHITECT PROMPTLY IF CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH THE CURRENT APPLICABLE CODES AND REGULATIONS.
3. NOTIFY ARCHITECT PROMPTLY IF ANY EXISTING CONDITIONS CONFLICT WITH THE CONSTRUCTION DOCUMENTS.
4. COORDINATE ALL PROPOSED CONSTRUCTION WITH OWNER OR AS SPECIFIED AND/ OR SHOWN ON THE DRAWINGS.
5. PROVIDE A SAFE MEANS OF EGRESS THROUGH AND/ OR AROUND THE BUILDING AND SITE PER APPLICABLE CODES AT ALL TIMES DURING THE CONSTRUCTION PROCESS. MINIMIZE OBSTRUCTION TO ADJACENT AREAS AS MUCH AS POSSIBLE.
6. MAINTAIN NOISE TO A LEVEL ACCEPTABLE TO THE OWNER. SCHEDULE TASKS CREATING EXCESSIVE NOISE OR NEAR NOISY AREAS WITH THE OWNER.
7. PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES.
8. ALL PARTITIONS OF EXISTING BUILDING SHALL BE MAINTAINED AND/ OR REPAIRS TO FACE OF FOUNDATION OR FROM FACE OF EXISTING MASONRY TO FACE TO FACE OF EXISTING MASONRY. FOR INTERIOR WALLS, ALL CENTERLINE DIMENSIONS ARE FROM CENTER OF ASSEMBLY TO CENTERLINE OF ASSEMBLY. UNLESS NOTED OTHERWISE, EXISTING WALLS AND PARTITIONS ARE TO REMAIN UNLESS OTHERWISE NOTED.
9. PROVIDE A SAFE MEANS OF EGRESS THROUGH AND/ OR AROUND THE BUILDING AND SITE PER APPLICABLE CODES AT ALL TIMES DURING THE CONSTRUCTION PROCESS. MINIMIZE OBSTRUCTION TO ADJACENT AREAS AS MUCH AS POSSIBLE.
10. SEE SHEET AND FOR WALL TYPE ASSEMBLIES. UNLESS NOTED OTHERWISE, ALL WALLS ARE TO BE TYPE "A".
11. UNIT WALLS SHOWN BLUE TO BE 6" FRESH HEIGHT A.F.F.
12. PROVIDE DRAFT STOPS IN THE FLOOR/CEILING AND SPACE. SUCH THAT THE RESIDENT UNITS ARE ISOLATED FROM COMMON AREAS AS WELL AS FROM EACH OTHER. SEE DETAILS FOR TYPICAL DRAFT STOP CONSTRUCTION.
13. VERIFY LOCATION, SIZE AND THICKNESS REQUIRED. RECESS MECHANICAL AND ELECTRICAL ITEMS AND MAINTAIN FIRE RATING REQUIREMENTS OF THE WALL IF REQUIRED AT BUILT IN ITEMS SUCH AS ELECTRICAL PANELS, DUCTS, PIPES, UNIT VENTILATORS, FIRE EXTINGUISHERS, ETC.
14. CUT OUTS FOR MECHANICAL AND ELECTRICAL ITEMS SHALL BE ACCOMPANIED IN SUCH A MANNER THAT STANDARD EXISTING CEILING PLATES, COVERES, ETC. WILL ACCURATELY COVER ROUGH OPENINGS. APPLY FIRE RATED SEALANT AT RATED CONDITIONS.
15. WHERE PIPING, STRUCTURAL COMPONENTS, DUCTS OR CONDUITS PASS THROUGH WALLS, ALL OPENINGS SHALL BE SEALED BOTH SIDES WITH GROUT, PLASTER OR CRITICAL TAPE AND COMPOUND. APPLY PRESTRESS MATERIAL AND FIRE RATED SEALANT AS REQUIRED AT RATED WALLS. PRESTRESS ALL OPENINGS THROUGH ALL FLOORS AND WALLS IN ACCORDANCE WITH ALL APPLICABLE CODES.
16. METALLIC BLOODING (WOOD OR METAL) IN WALLS WHERE FIXTURES, ACCESSORIES, EQUIPMENT OR CABINETS ARE TO BE MOUNTED. EXAMPLES INCLUDE, BUT NOT LIMITED TO: BATHROOMS, SHELVES, DOWNSPEAKERS, COUNTERS, GRAB BARS, TOWEL DISPENSERS, LAUNDRIES, WATER CLOSETS, COAT CLOSETS, DRINKING FOUNTAINS OR PROVIDES, HANDSALLS, CHAIR RAILS, DISPLAY BOARDS, CABINETS, WALL MOUNTED TELEPHONE, MAGNETIC HOLD-OPEN, ETC. PROVIDE BLOODING FOR FUTURE GRAB BARS IN BATHROOMS AS INDICATED ON DRAWINGS.
17. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL APPLICABLE ASPECTS OF THE CONTRACT AND TO PROVIDE A COMPLETE AND FUNCTIONING PROJECT. ANY REFERENCES TO OTHER TRADES OR DIVISIONS ARE SUGGESTION ONLY.
18. ALL STRUCTURAL, UTIL, TO MECHANICAL AND ELECTRICAL ITEMS ARE TO BE LOCATED IN THE CONTRACT AND TO PROVIDE A COMPLETE AND FUNCTIONING PROJECT. ANY REFERENCES TO OTHER TRADES OR DIVISIONS ARE SUGGESTION ONLY.
19. ALL FINISHES ARE PER THE FINISH SCHEDULE WHETHER OR NOT THEY ARE NOTED ON THE PLANS.
20. FINISHES ARE PER THE FINISH SCHEDULE WHETHER OR NOT THEY ARE NOTED ON THE PLANS.
21. SAFETY GLAZING IS REQUIRED FOR GLAZING WITHIN 24 INCHES OF A DOOR SWING, WHERE THE EXPOSED EDGE OF THE GLAZING IS LESS THAN 48 INCHES ABOVE THE FINISH FLOOR SURFACE. IN SWINGING DOORS AND GLAZING PARTS AND EXPOSED PANELS OF SLIDING DOOR ASSEMBLIES.
22. PROVIDE 6" TYPE "Y" FRESH CONCRETE OR GLASS SAT GYPSON BOARD AT ALL "MET" WALLS (E.G. BATHROOM, TOILET, ETC.).
23. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NEW OR EXISTING DOORS SWING FREELY OVER ALL NEW OR EXISTING FLOOR FINISHES.
24. METALL GYPSON BOARD CONTROL JOINTS PER DETAILS AND AT A MAXIMUM OF 36" ON CENTER AND WHERE GYPSON BOARD MEETS EXISTING MATERIALS.
25. APPLY SOUND SEALANT WHERE WALLS MEET FLOOR AND AT ALL PENETRATIONS IN RESIDENT UNIT WALLS.
26. PRIOR TO INSTALLATION OF ANY OF THE FIRE RESISTIVE THROUGH OR MEMBRANE PENETRATION PERIODIC SYSTEMS AND ANY FIRE RESISTIVE JOINT SYSTEMS, DETAIL TESTING AND INSTALLATION INFORMATION ON EACH OF THE SPECIFIC LISTED ASSEMBLIES INTERFERED FOR USE MUST BE SUBMITTED TO THE BUILDING OFFICIAL FOR CODE REVIEW. THE SPECIFIC ASSEMBLIES MUST ALSO BE LISTED FOR EACH INTENDED USE (E.G. PROPER PENETRATION FOR USE WITH A FIRE RATED THROUGH PENETRATION SYSTEM).
27. BEING USED IN VON. EACH TRADE PERSON RESPONSIBLE FOR SEALING SAID CONDITIONS MUST PROVIDE THIS INFORMATION TO THE BUILDING INSPECTOR FOR REVIEW PRIOR TO INSTALLATION OF ANY ASSEMBLY (PER ITC, ITS, AND ITS).
28. CONTRACTOR IS RESPONSIBLE FOR FIRE CALCUATION. ALL PENETRATIONS TO MEET A FIRE PENETRATION ASSEMBLY REQUIREMENTS.
29. COORDINATE WITH OWNER AND SUBSIDIARY ELECTRICAL PLANS FOR UNIT CANT SYSTEM.
30. CONTRACTOR IS RESPONSIBLE FOR FIRE CALCUATION. ALL PENETRATIONS TO MEET A FIRE PENETRATION ASSEMBLY REQUIREMENTS.
31. SEE ENLARGED AREA PLANS FOR WALL TYPE INDICATORS AND DOOR TAGS NOT SHOWN ON OVERALL FLOOR PLANS.
32. FINISHES, WALLS, SHOWS, ETC. SHOWN FOR REFERENCE ONLY.
33. ENLARGED AREA PLANS FOR WALL TYPE INDICATORS AND DOOR TAGS NOT SHOWN ON OVERALL FLOOR PLANS.

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85 % PROG. SET
- SHPO REVIEW
10/13/2025

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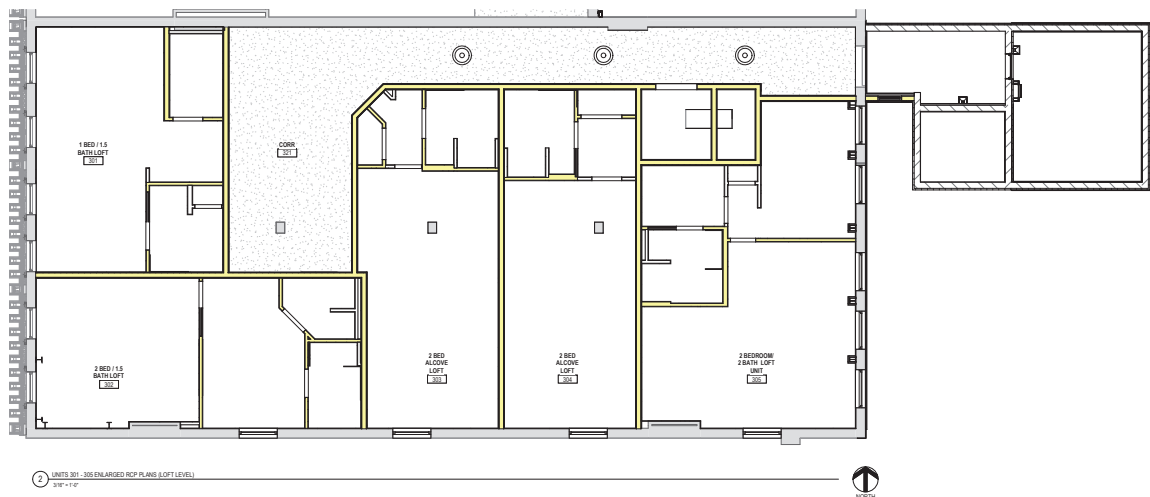
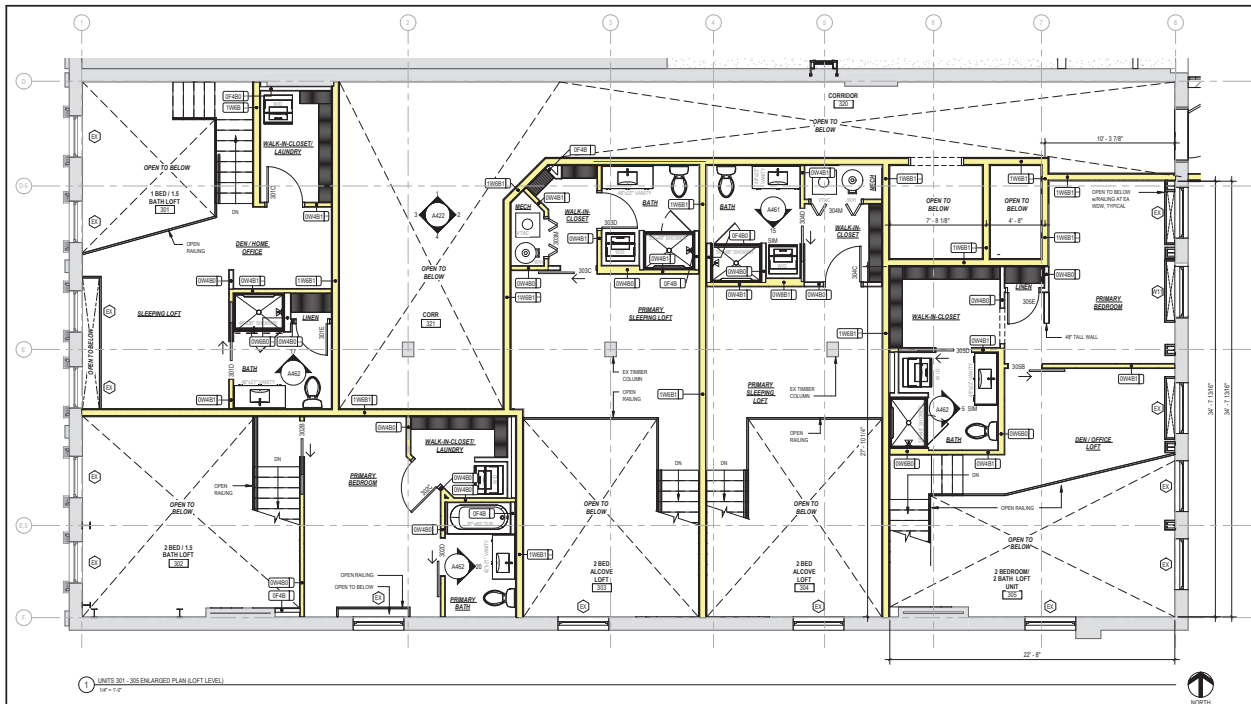
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REV	DATE	DESCRIPTION
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PROJECT NUMBER:	24009
DRAWN BY:	PSH
CHECKED BY:	JWH
ISSUED FOR PERMIT:	TBD

217 CENTRAL - 3rd
FLR LOFT ENLGD
PLAN & RCP

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GENERAL REFLECTED CEILING PLAN NOTES

1. SEE REFLECTED CEILING PLAN SHEETS #201 FOR REFLECTED CEILING PLAN.
2. SEE LIFT-UP PLAN SHEETS FOR REFLECTED CEILING INFORMATION. THIS PLAN INDICATES THE MECHANICAL, ELECTRICAL AND OTHER TRADE PLANS FOR SPECIFIC TRAYS, RIGS, SPECIFICATIONS AND INSTALLATION LOCATIONS.
3. SEE MECHANICAL, ELECTRICAL AND OTHER TRADE PLANS FOR THE LOCATION OF ALL EXISTING LAYOUTS AND THE LOCATION OF ALL EXISTING SPRINKLER HEADS.
4. EXISTING ROOM OR ZONE INFORMATION AND/OR CHANGING PLANS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION.
5. A CUSTODIAL CLINGING GLOP SHALL BE CONCENTRATED IN ROOMS UNLESS NOTED OTHERWISE.
6. THE ARCHITECT'S OFFICE SHALL BE NOTIFIED OF ANY CHANGES TO THE LOCATION OF THE POSITION OF THE CENTER RECEIVED LAYOUTS. MECHANICAL AND ELECTRICAL WORKS AND SPRINKLER HEADS IN CEILING PANELS, WHEN RECEIVED BY THE ARCHITECT'S OFFICE, SHALL BE KEPT IN THE OFFICE UNTIL THE WORK IS COMPLETED.
7. MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL COORDINATE ALL WORKS REQUIRED ACCORDING TO THE TYPICAL FLOOR PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING LAYOUTS AND THE LOCATION OF ALL EXISTING SPRINKLER HEADS.
8. PROVIDE CEILING EXPANSION JOINTS AT ALL LARGE PLANE SURFACES OF JOINTS FROM BOARD TO Joints AT LEAST 3 TO 5 SQUARE FEET OR MORE. PROVIDE CEILING EXPANSION JOINTS AT ALL LARGE PLANE SURFACES OF JOINTS FROM BOARD TO Joints AT LEAST 3 TO 5 SQUARE FEET OR MORE. PROVIDE CEILING EXPANSION JOINTS AT ALL LARGE PLANE SURFACES OF JOINTS FROM BOARD TO Joints AT LEAST 3 TO 5 SQUARE FEET OR MORE.
9. ZONE LOCATIONS WITH AND OWNER.
10. THE ARCHITECT'S OFFICE SHALL BE NOTIFIED OF ANY CHANGES TO THE POSITION AND SMOKEHEAD DETECTORS TO SATISFY CURRENT BUILDING CODE.
11. SEE ROOM PLAN SHEETS FOR REFLECTED CEILING NOTED ON THIS PLAN.
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GENERAL FLOOR PLAN NOTES

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